



**Notice of Addendum
IFB No. 20-74, Covington Meadows Window &
Sliding Glass Door Replacement Project**

Addendum No. 1

Date: August 17, 2020

Notice are provided for clarification and/or change

Submittal Date: **September 8, 2020 @ 4:00 p.m.**

Responses to solicitation will be mailed or delivered in time to be received no later than the specified opening date and time. Late submissions shall not be accepted

Receipt of addendums are to be acknowledged in the returned proposal package on the **Respondents CHECK LIST FOR PROPOSAL SUBMISSION**

1. Covington Meadows Site visit: Thursday, August 20, 2020 @ 9:00 a.m.

**Location: Covington Meadows, 1400 Parkwood Meadows, Lehigh Acres
All will meet in the parking lot area at 9:00 a.m.
There will be access to Units 3 and Unit 5.**

2. Question: Can you please send the plans in a pdf?

Answer: Attached and made part of this addendum.

End of Addendum No 1

WINDOW REPLACEMENT AND SLIDING GLASS DOOR REPLACEMENT FOR:

COVINGTON MEADOWS

BUILDINGS #1 & #2

PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA, 33936

STRAP # 06-45-27-04-00000.C000 // FOLIOID: 10403810

SET NO:

REVISIONS:
 △ XXX/XX/XX (XXX)
 (REVISION DEF.)
 △
 △
 △
 △

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITTANY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 0003009



COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.
 WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
 COVER SHEET

JOB No:
20037
 07/31/2020

SHEET No:
CS1

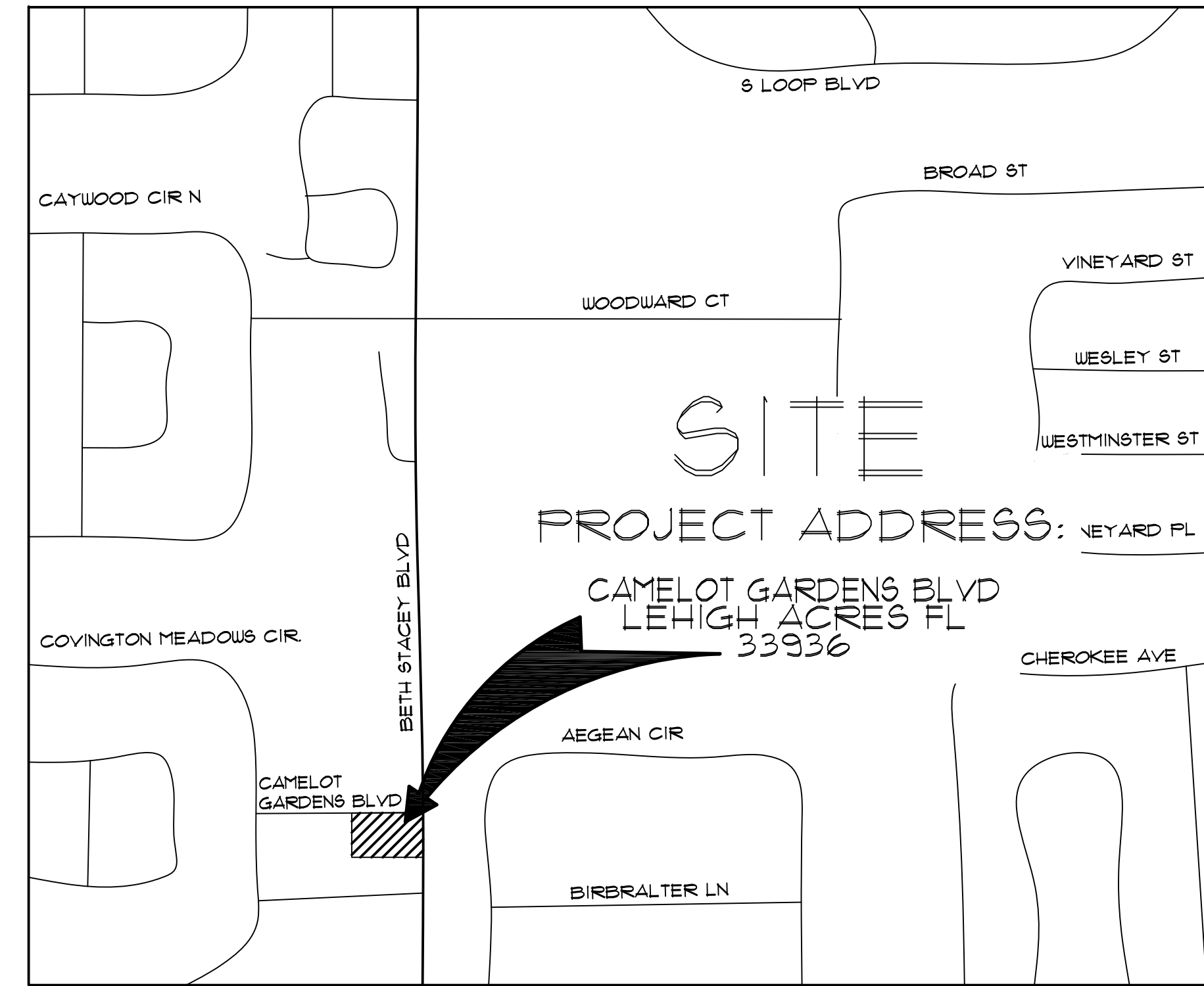
Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 20037-01-Cs1.dwg
 Vic DePue, Moore and Spence Architects 7/30/2020 1:11 PM

GENERAL CONSULTANTS:

OWNER: COVINGTON MEADOWS I, LLC
 4224 RENAISSANCE PRESERVE WAY
 FORT MYERS FL 33916
 (239) 344-3244 FAX (239) 344-3269

ARCHITECTURAL: MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITTANY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519

LOCATION MAP:



DRAWING INDEX:

- C01 COVER SHEET / DRAWING INDEX / LOCATION MAP
- C02 BUILDING CODE REVIEW / CODE DATA / PROJECT DESCRIPTION / GENERAL SYMBOLS / SCOPE OF WORK / PAINT SCHEDULE / WORK INCLUDED NOTE / GENERAL PROJECT NOTES / CAULKING AND SEALANTS SPECIFICATION / DESCRIPTION OF STUCCO REMEDIATION SCOPE / FLORIDA PRODUCT APPROVAL AND NOTICE OF ACCEPTANCE
- A01 ARCHITECTURAL SITE PLAN
- ARCHITECTURAL:**
- A1 EXISTING FIRST FLOOR PLAN
- A2 EXISTING SECOND FLOOR PLAN
- A3 EXISTING EXTERIOR ELEVATIONS
- A4 DEMO FIRST FLOOR PLAN
- A5 DEMO SECOND FLOOR PLAN
- A6 EXTERIOR DEMOLITION ELEVATIONS
- A7 PROPOSED FIRST FLOOR PLAN
- A8 PROPOSED SECOND FLOOR PLAN
- A9 PROPOSED EXTERIOR ELEVATIONS
- A10 WINDOW AND SLIDING GLASS DOOR SCHEDULES / WINDOW FLASHING SEQUENCE / WINDOW ELEVATIONS / SLIDING GLASS DOOR ELEVATIONS / SPECIAL SITE NOTE / GENERAL WINDOW NOTE
- A11 WINDOW HEAD JAMB SILL DETAILS - EXISTING / DEMO / PROPOSED
- A12 SLIDING GLASS DOOR HEAD JAMB SILL DETAILS - EXISTING / DEMO / PROPOSED

RESPONSIBILITY AND LIABILITY CLAUSE:

THE DESIGN PROFESSIONAL WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND / OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

SPECIFICATIONS

SPECIFICATIONS FOR MATERIALS ARE DESCRIBED ON THE DRAWINGS. UNLESS OTHERWISE SPECIFIED THE INSTALLATION OF ALL MATERIALS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS. NO SPECIFICATION BOOK HAS BEEN PREPARED FOR THIS PROJECT.

CONTRACT DRAWING APPROVAL

OWNER _____
 CONTRACTOR _____

DESCRIPTION OF STUCCO REMEDIATION SCOPE:

THE FOLLOWING IS A DETAILED DESCRIPTION OF THE SCOPE OF WORK AND PROCEDURES THAT SHOULD BE FOLLOWED FOR THE REMEDIATION OF THE EXISTING STUCCO CONDITIONS COVERING THE SECOND FLOOR OF THE COVINGTON MEADOWS APARTMENTS. THESE PROCEDURES IN COMBINATIONS WITH THE DRAWINGS AND DETAILS PREPARED FOR THIS PROJECT SHALL BE USED IN COMPLETING THIS PROJECT.

- 1. SAW CUT TO CREATE A CLEAN BREAK IN THE EXISTING STUCCO BETWEEN THE EXISTING STUCCO BAND AND THE EXISTING CEMENTITIOUS COATING DIRECTLY ADJACENT TO THE EXISTING STUCCO BAND.
2. REMOVE EXISTING STUCCO BANDS FROM AROUND THE EXISTING WINDOWS AND SLIDING GLASS DOORS ON THE FIRST FLOOR TO THE EXISTING MASONRY WALL AND FROM AROUND THE EXISTING WINDOWS ON THE SECOND FLOOR TO THE EXISTING UNDERLAYMENT.
3. AFTER WINDOW INSTALLATION, SEAL THE PERIMETER OF ALL WINDOW FLANGES / FINIS WITH SELF-ADHESIVE FLASHING. APPLY OTHER SEALANTS AS APPLICABLE TO CREATE A WATER-TIGHT CONDITION FOLLOWING THE WINDOW FLASHING SEQUENCE DETAIL.

WOOD FRAME CONDITIONS:

- 4. INSTALL TWO LAYERS OF WATERPROOF ASPHALT BUILDING FELT OVER PLYWOOD. THE BASE LAYER SHOULD BE A LAYER OF SELF-ADHESIVE FELT AND THE SECOND LAYER SHALL BE A MINIMUM 15 LBS FELT. BOTH LAYERS SHOULD BE INSTALLED AND BE SECURED WITH GALVANIZED ROOFING NAILS. LAPS SHOULD BE A MINIMUM OF 6". BOTH LAYERS OF FELT UNDERLAYMENT SHALL WRAP ALL INSIDE AND OUTSIDE CORNERS A MINIMUM OF 16" IF REQUIRED TO DO SO.
5. INSTALL 25 LBS/60YD. DIMPLED OR V-GROOVED, G-60 HOT DIPPED GALVANIZED METAL LATH OVER UNDERLAYMENT. LAP LATH A MINIMUM OF 1/2" IN THE LONG DIMENSION AND 1" IN THE SHORT DIMENSION. WIRE ALL HORIZONTAL JOINTS THAT ARE BETWEEN FRAMING MEMBERS. THE MAXIMUM SPACING OF WIRE TIES IS 9". SECURE THE LATH TO THE FRAMING USING 1-1/2" GALVANIZED ROOFING NAILS SPACED 6" ON CENTER ALONG THE FRAMING MEMBERS. MAKE SURE THAT 1/4" FURRING AREA IS NOT REDUCED BY INSTALLATION OF THE FASTENERS.
6. INSTALL CASING BEADS AROUND ALL WINDOW OPENINGS. APPLY SEALANT AS REQUIRED.

- 7. APPLY 3/8" SCRATCH COAT AT THE BAND LOCATION AND SCREED TO A CONSISTENT THICKNESS. SCRATCH 1/8" DEEP HORIZONTAL GROOVES INTO THE BASE COAT WITH A RAKING TOOL. ONCE THE STUCCO HAS BECOME THUMB PRINT HARD, CURE THE SCRATCH COAT FOR 24 TO 48 HOURS PRIOR TO INSTALLING BROWN COAT.
8. APPLY SECOND LAYER BASE COAT OF STUCCO 3/8" THICK DIRECTLY TO SCRATCH COAT. SCREED SURFACE TO A CONSISTENT FINISH. THE TOTAL THICKNESS SHOULD NOW BE 3/4" THICK. CURE THE ENTIRE BASE COAT FOR AN ADDITIONAL 24 TO 48 HOURS APPLYING A FINE MIST OF WATER TO CONTROL THE CURING.

- 9. APPLY A 3/8" LIFT COAT AND THEN A 1/4" LIFT COAT FOLLOWING THE SAME PROCEDURE AS #3.
10. APPLY A 1/8" +/- FINISH COAT OVER THE BASE COAT. TEXTURE THE FINISH COAT TO MATCH THE EXISTING. APPLY A FINE MIST OF WATER OVER SEVERAL DAYS WHY THE STUCCO IS CURING.

MASONRY WALL CONDITIONS:

- 11. INSTALL CASING BEADS AROUND ALL WINDOW AND DOOR OPENINGS. APPLY SEALANT AS REQUIRED.
12. AFTER THE INITIAL COAT HAS BEEN APPLIED TO MEET THE EXISTING THICKNESS OF THE EXISTING STUCCO, APPLY A 1/4" SCRATCH COAT OVER THE ENTIRE EXPOSED AREAS AND SCREED TO A CONSISTENT THICKNESS. SCRATCH 1/8" DEEP HORIZONTAL GROOVES INTO THE BASE COAT WITH A RAKING TOOL. ONCE THE STUCCO HAS BECOME THUMB PRINT HARD, CURE THE SCRATCH COAT FOR 24 TO 48 HOURS PRIOR TO INSTALLING BROWN COAT.
13. APPLY SECOND LAYER BASE COAT OF STUCCO 1/4" THICK DIRECTLY TO SCRATCH COAT. SCREED SURFACE TO A CONSISTENT FINISH. THE TOTAL THICKNESS SHOULD NOW BE 1/2" THICK. CURE THE ENTIRE BASE COAT FOR AN ADDITIONAL 24 TO 48 HOURS APPLYING A FINE MIST OF WATER TO CONTROL THE CURING. TOTAL BAND THICKNESS WILL BE 1/2" +/-, ADJUST SECOND LAYER BASE COAT AS REQUIRED.
14. APPLY A 1/8" +/- FINISH COAT OVER THE BASE COAT. TEXTURE THE FINISH COAT TO MATCH THE EXISTING. APPLY A FINE MIST OF WATER OVER SEVERAL DAYS WHY THE STUCCO IS CURING.
15. FILL ALL CONTROL JOINTS AND EXPANSION JOINTS WITH BACKER ROD AND APPLY A NON-SAG SEALANT AS REQUIRED. CAULK THE PERIMETER OF ALL STUCCO CASING BEAD BANDS. SEALANT SHALL BE PAINTABLE.
16. AFTER STUCCO HAS CURED PAINT NEW STUCCO SURFACES TO MATCH THE EXISTING COLOR SCHEME. THE PAINT SHALL BE APPLIED WITH A PRIMER AND TWO COATS. THE PAINT SHALL BE EQUAL TO SHERWIN WILLIAMS Loxon WITH PRIMER. PAINT SHEEN SHALL MATCH EXISTING.
17. THE INSTALLATION SHALL FOLLOW THE STANDARDS OF ASTM C1063, STANDARD SPECIFICATION FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER.

GENERAL PROJECT NOTES:

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION IS PERFORMED IN STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND OTHER DOCUMENTS AND SPECIFICATIONS MADE A PART OF THESE DOCUMENTS.
2. WORK SHALL NOT PROCEED WHERE THE ARCHITECT AND/OR CONTRACTOR EXPECT ADDITIONAL COMPENSATION BEYOND THE WRITTEN CONTRACT WITHOUT THE WRITTEN AUTHORIZATION OF THE OWNERS OR THE OWNERS PROJECT REPRESENTATIVE. FAILURE TO OBTAIN SUCH WRITTEN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
3. AT PROJECT COMPLETION, A FORMAL PUNCH LIST WILL BE PERFORMED BY THE OWNERS AND THE OWNERS PROJECT REPRESENTATIVE AND UPON THE COMPLETION OF THE PROJECT REVIEW A LIST WILL BE PREPARED AND SUBMITTED TO THE CONTRACTOR INDICATING ALL ITEMS NOT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. FOLLOWING THE COMPLETION OF THE PUNCH LIST, THE CONTRACTOR SHALL NOTIFY THE OWNER TO VERIFY THAT ALL THE ITEMS ON THE PUNCH LIST HAVE BEEN COMPLETED. ALL PARTIES WILL THEN APPROVE AND EXECUTE ACCEPTANCE OF THE COMPLETED PUNCH LIST WITHIN 15 DAYS OF THE FORMAL WALK-THROUGH.
4. AT THE COMPLETION OF THE PROJECT AND ALL WORK CONTRACTOR SHALL CLEAN OR RE-CLEAN ENTIRE WORK OF ALL THE CONSTRUCTION DEBRIS AND REMOVE SAME FROM PROJECT AND WILL LEAVE WORK IN A MANNER FIT FOR A CLASS "A" BUILDING. REMOVE ALL TEMPORARY PROTECTION, IF ANY, AND LABELS. CLEAN EXPOSED SURFACES, TOUCH UP MINOR DAMAGE AND SWEEP AND WASH PAVED AREAS. IF SAID AREA DAMAGE AND DEBRIS ACCUMULATION HAVE BEEN CAUSED BY THE CONTRACTOR DURING THE COURSE OF THE PERFORMANCE OF THE WORK.
5. NOT WITHSTANDING THE ABOVE, CONTRACTORS SHALL LEAVE SITE CLEAN AND CLEAR OF DEBRIS TO THE COMMON AREAS ON A DAILY BASIS IF SAID AREAS ARE USED BY THE CONTRACTOR TO MOVE MEN, MATERIALS AND EQUIPMENT UPON.
6. CONTRACTORS SHALL FIELD MEASURE AND VERIFY DIMENSIONS AND SITE CONDITIONS AND BE SATISFIED WITH THE SAME PRIOR TO ANY COMMENCEMENT OF WORK.
7. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL THE NECESSARY PERMITS AND SECURE ANY ADDITIONAL DATA REQUIRED TO OBTAIN SAID PERMITS.
8. ALL WORK SHALL CONFORM TO THE LATEST ADOPTED FLORIDA BUILDING CODE, FLORIDA MECHANICAL CODE, FLORIDA PLUMBING CODE, FLORIDA FIRE PREVENTION, NFPA LIFE SAFETY CODE, NATIONAL ELECTRIC CODE, ALL WITH THEIR RESPECTIVE REVISIONS AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FIELD SUPERVISION, CONSTRUCTION ADMINISTRATION AND REVIEW AND APPROVAL OF ALL SUBMITTALS FOR SUPPLIERS AND SUBCONTRACTORS.
10. THE GENERAL CONTRACTOR, OWNER/OWNER REPRESENTATIVE SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY FIELD DISCREPANCIES WITH THE DRAWING AND ANY ERRORS AND OMISSIONS FOUND WITH SAID NOTIFICATION TO BE MADE NO LATER THEN TEN DAYS OF SAID FINDINGS.
11. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INDEPENDENT CORRECTIVE MEASURES TAKEN BY THE CONTRACTOR, SHOULD THE ARCHITECT NOT BE INFORMED AS NOTED ABOVE.
12. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS INDICATED ON DRAWINGS TAKE PRECEDENCE. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
13. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.
14. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ARCHITECT / ENGINEERS RESPONSIBLE FOR HIS / HER OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.
15. CONTRACTOR TO VERIFY ALL DIMENSIONS AND INFORMATION IN THESE DRAWINGS. CONTRACTOR IS TO COMPLY WITH ALL EXISTING CONDITIONS INCLUDING BUILDINGS, SITE CONDITIONS AND SOIL BEARING PRESSURE. ALL ERRORS, OMISSIONS AND INCONSISTENCIES ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. FAILURE TO DO SO WILL RELEASE THE ARCHITECT AND ENGINEERS RESPONSIBILITY. ANY CHANGE FROM THESE DOCUMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. IF INSUFFICIENT INFORMATION EXISTS, CONTACT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
16. CONTRACTOR IS TO COMPLY WITH ALL CODES AND SAFETY REGULATIONS AND O.S.H.A. REQUIREMENTS.

SCOPE OF WORK

- 1. ALL EXTERIOR WINDOWS AND SLIDING GLASS DOORS SHALL BE REMOVED AND REPLACED WITH NEW IMPACT RESISTANT WINDOWS AND SLIDING GLASS DOORS AS DESCRIBED IN THE WINDOW NOTES AND THE SLIDING GLASS DOOR NOTES.
2. THE CONTRACTOR SHALL VERIFY THE NUMBER OF WINDOWS AND DOORS AND THE ACTUAL OPENING SIZES PRIOR TO THE ORDERING OF WINDOWS AND DOORS.
3. THE CONTRACTOR IS TO FURNISH ALL LABOR, MATERIAL, TOOLS, EQUIPMENT AND SERVICE FOR REPLACEMENT OF THE WINDOWS AND DOORS.
4. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS.
5. COMPLETELY COORDINATE THE WORK WITH THE ARCHITECT / OWNER.
6. ALTHOUGH SUCH WORK IS NOT SPECIFICALLY INDICATED, FURNISH AND INSTALL ALL SUPPLEMENTARY OR MISCELLANEOUS ITEMS, APPURTENANCES AND DEVICES INCIDENTAL TO OR NECESSARY FOR A SOUND, SECURE, WEATHER TIGHT AND COMPLETE INSTALLATION.

- 7. WINDOWS AND DOOR FRAMES SHALL BE SET IN A COMPLETE BED OF SEALANT. THE WINDOWS SHALL BE CAULKED AND SEALED AS REQUIRED PER THE MANUFACTURER'S RECOMMENDATIONS.
8. THE SCOPE OF WORK INCLUDES INTERIOR PLASTER REPAIRS AND PAINTING OF THE SILL, JAMB AND HEAD WHERE THE WINDOW IS REPLACED.
9. THE SCOPE INCLUDES REMOVAL OF THE EXISTING INTERIOR DRYWALL SILLS AND INSTALLATION OF NEW WHITE CULTURED MARBLE WINDOW SILLS.
10. THE PROJECT INCLUDES THE REMOVAL OF EXISTING STUCCO AND STUCCO BANDS TO REMOVE THE WINDOWS AND DOORS. THE INSTALLATION OF THE NEW WINDOWS AND DOORS INCLUDES REPAIRING AND REPLACING THE STUCCO AT THE JAMBS, HEAD AND SILL OR THRESHOLD AND INSTALLING A NEW RAISED BAND AROUND THE WINDOWS AND THE HEAD AND JAMBS OF THE DOORS. THE NEW BAND SHALL BE PRIMED AND PAINTED.
11. THE COMPLETE SCOPE OF WORK SHALL BE AS INDICATED ON THE DRAWINGS TO PROVIDE A COMPLETE AND FINISH PROJECT.
12. CONTRACTORS QUALIFICATIONS:
A. THE CONTRACTOR PERFORMING THE WORK SHALL BE LICENSED IN THE STATE OF FLORIDA, LEE COUNTY AS A CONTRACTOR WITH THE ABILITY TO OBTAIN NECESSARY PERMITS.
13. APPLICATION:
A. INSTALLATION SHALL NOT START UNTIL SURFACES ARE FIRM, DRY AND FREE FROM FOREIGN MATTER.
B. WINDOWS AND DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE WINDOW MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, AND THE FPS AND NOA. OPENINGS SHALL BE PROTECTED FROM INCLEMENT WEATHER AND INTRUSION BY INSTALLATION OF PROTECTIVE INTRUSION PROOF COVER SHOULD INSTALLATION NOT BE COMPLETED AT THE END OF THE WORK DAY.
14. PROTECTION AND CLEANING:
A. THIS CONTRACTOR SHALL COVER ANY FINISHED SURFACES LIKELY TO BE DEFACED, AND SHALL USE THE UTMOST CARE TO KEEP ALL EXPOSED SURFACES OF THE BUILDING FREE FROM DAMAGE FROM CAULKING, SCRATCHING AND OTHER MATERIALS THAT MAY STAIN OR OTHERWISE MAR THE BUILDING.
B. THE CONTRACTOR SHALL LEAVE THE SITE CLEAN OF DEBRIS AND TRASH ACCUMULATED BY THE COMPANY DURING THE WORK.
C. FRAMES AND OTHER SURFACES BLEMISHED, SHALL BE CLEANED OF EXCESS CAULK AND LABELS OR REPLACED.
D. THE CONTRACTOR AT ALL TIMES SHALL KEEP THE WORK AREA FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY OPERATIONS, AND PROMPTLY REMOVE ANY SUCH MATERIALS TO AN APPROVED DISPOSAL LOCATION.
E. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR SAFETY OF THE PORT MYERS HOUSING AUTHORITY EMPLOYEES, RESIDENTS AND GENERAL PUBLIC, AS WELL AS THE CONTRACTOR'S EMPLOYEES. THE CONTRACTOR SHALL ERECT AND PROPERLY MAINTAIN AT ALL TIMES VEHICULAR AND FACILITY SAFEGUARDS FOR THE PROTECTION OF THE WORKERS, THE RESIDENTS AND GENERAL PUBLIC.
F. THE CONTRACTOR SHALL POST SIGNS WARNING AGAINST HAZARDS IN AND AROUND THE WORK SITE.
G. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EXISTING WINDOW AND DEBRIS ACCUMULATED AS PART OF THIS PROJECT.
15. WARRANTY:
A. THIS CONTRACTOR SHALL AND HEREBY DOES WARRANT THAT ALL MATERIALS AND LABOR SHALL BE OF THE QUALITY, QUANTITY AND CHARACTER SPECIFIED AND SOUND, AND ANY DEFECTS DUE TO THE USE OF IMPROPER MATERIALS OR WORKMANSHIP DISCOVERED AND MADE KNOWN TO SAID GENERAL CONTRACTOR WITHIN TWO YEARS FROM DATE OF ACCEPTANCE OF BUILDING SHALL BE MADE GOOD BY THE GENERAL CONTRACTOR WITHIN ORIGINAL PRICE AND WITHOUT EXPENSE TO THE OWNER. MANUFACTURER'S WARRANTIES SHALL BE PROVIDED FOR WINDOW AND DOOR SYSTEMS.

FLORIDA BUILDING CODE REVIEW

6TH EDITION FLORIDA BUILDING CODE (2017)

GENERAL DATA

ZONING CLASSIFICATION RM-2
OCCUPANCY CLASSIFICATION RESIDENTIAL - R2

TABLE 500 DATA

Table with 2 columns: Description and Value. Includes rows for Allowable Height and Building Areas, Type Construction (FBC Table 503), Area Calculations (FBS Table 503), Allowable Max. Number of Stories (Per FBC Table 503), Existing Number of Stories, Allowable Building Area (Per FBC Table 503) (With Area Modification), First Floor Area (Per Building), Second Floor Area (Per Building), Total Building Floor Area (Per Building), Allowable Maximum Building Height (Per FBC Table 500), and Proposed Mean Building Height.

FLORIDA PRODUCT APPROVAL AND NOTICE OF ACCEPTANCE

WINDOWS: FL239-R25, 239.3 / NOA: 18.0430.06

SLIDING GLASS DOORS: FL251-R32, 251.4 / NOA: 19-1126.04

CAULKING & SEALANTS SPECIFICATION:

A. MATERIALS:

- 1. SEALANT FOR JOINTS BETWEEN INTERSECTING PERVIOUS / DISSIMILAR MATERIALS SUCH AS METAL AND MASONRY, OR MASONRY JOINTS OR WOOD AND STUCCO SHALL BE A PAINTABLE CAULK EQUAL TO DAP ALEX ULTRA 230 PREMIUM FOR INTERIOR AND EXTERIORS.
2. PRIMERS AND CLEANING AGENTS SHALL BE AS SPECIFIED BY THE CAULKING AND SEALANT MANUFACTURERS.
3. PLASTIC FOAM ROD SHALL BE UTILIZED AS CAULKING BACKUP WHERE REQUIRED.
4. ALL SEALANTS AND ADHESIVES MUST HAVE LOW VOC EMISSIONS.
5. APPLICATION:
1. BUILDING JOINTS SHALL BE EXAMINED PRIOR TO APPLICATION AND CONDITIONS SHALL BE FAVORABLE SO THAT A POSITIVE WEATHER TIGHT SEAL SHALL BE ACHIEVED.
2. ALL JOINTS SHALL BE CLEAN, DRY AND FREE OF DUST, OILY SUBSTANCES, OR LOOSE MORTAR PRIOR TO APPLYING CAULKING.
3. BACKING SHALL BE PROVIDED IN ALL JOINTS SO THAT THE DEPTH OF SEALANT WILL BE APPROXIMATELY THE SAME AS THE WIDTH.
4. JOINTS TO BE CAULKED WILL INCLUDE ALL PERIMETERS OF DOOR FRAMES AND WINDOWS.
5. CAULKING SHALL BE GUN APPLIED THROUGH A NOZZLE OPENING SO THAT THE FULL CAULK BEAD IS FUNNELED INTO THE JOINT. CONCRAVE IMMEDIATELY AFTER APPLICATION TO INSURE FIRM FULL CONTACT WITH INNER FACES OF THE JOINT. EXCESS MATERIAL SHALL BE STRUCK OFF. THE JOINT SHALL BE CLEAN AND SMOOTH.
6. CAULKING APPLICATION SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED SPECIFICATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL WASTE, STAINS AND DEBRIS RESULTING FROM HIS OPERATION.
8. THERE SHALL BE A 5 YEAR WARRANTY ON THE CAULKING AND SEALANTS.

PAINT SCHEDULE

I. EXTERIOR PAINTING:

- A. STUCCO FINISHES - 1 - COAT PRIMER - EQUAL TO SHERWIN WILLIAMS Loxon MASONRY PRIMER FIRST COAT AND TOP COAT SHALL BE EQUAL TO SHERWIN WILLIAMS SUPER PAINT EXTERIOR LATEX SATIN FINISH.
B. STUCCO BAND AND WALL COLORS SHALL MATCH THE EXISTING COLOR SCHEME.
C. ALL EXTERIOR PREVIOUSLY PAINTED SURFACES MAY BE PAINTED WITH ONE COAT OVER EXISTING PAINT IF REQUIRED TO DO SO. ACTUAL NUMBER OF COATS SHALL DEPEND ON COVERAGE OF EXISTING PAINT.

II. INTERIOR PAINTING:

- A. THE SPECIFIED SURFACE OR SURFACES OF THE WINDOW WALL AS WELL AS THE INTERIOR DRYWALL HEAD AND JAMB RETURNS AT THE NEW WINDOWS AND SLIDING GLASS DOORS SHALL RECEIVE 1 - COAT SHERWIN WILLIAMS PROMAR 200 - GLOSS LATEX ENAMEL.
B. ALL PREVIOUSLY PAINTED INTERIOR SURFACES MAY BE PAINTED, IF REQUIRED, WITH ONE COAT OVER EXISTING PAINT. ACTUAL NUMBER OF COATS SHALL DEPEND ON COVERAGE OF EXISTING PAINT.

III. GENERAL NOTES:

- 1. EXTERIOR AREAS AFFECTED BY THE CONSTRUCTION SHALL BE PRESSURE WASHED PRIOR TO PAINT APPLICATION.
2. APPLICATION OF PAINT SHALL BE PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS.
3. DELIVERY AND STORAGE OF PAINT SHALL BE PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS.
4. INTERIOR AND EXTERIOR JOINTS SHALL BE CAULKED AS SPECIFIED IN THE CAULKING AND SEALANTS SPECIFICATION.
5. SURFACE SHOULD BE FREE OF ALL LOOSE MATERIALS OR CONTAMINATION PRIOR TO PAINTING.
6. WOOD SURFACES TO BE PAINTED SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15% OR LOWER AS MAYBE REQUIRED BY THE PAINT MANUFACTURER.
7. ALL PAINT MATERIALS SHALL BE READY MIX IN STANDARD FORMULAS AND BE A PRODUCT OF A RECOGNIZED MANUFACTURER FOR THIS CONSTRUCTION TYPE.
8. THE PROTECTION OF ALL EXISTING SURFACES NOT TO BE PAINTED IS THE RESPONSIBILITY OF THE PAINTING SUB-CONTRACTOR.
9. ACCEPTABLE MANUFACTURERS ARE:
A. BENJAMIN MOORE
B. GLIDDEN
C. SHERWIN WILLIAMS
D. FOVIA PAINTS
E. SCOTT PAINTS
9. THE PAINT AND PAINTING SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR BY THE PAINTING SUBCONTRACTOR AND THE PAINT MANUFACTURER.
10. THE PAINT MANUFACTURER IS REQUIRED TO INSPECT REVIEW AND CERTIFY THAT THE INTERIOR AND EXTERIOR PAINT HAS BEEN APPLIED PER THEIR SPECIFICATIONS. A CERTIFICATE IN WRITING FROM THE PAINT MANUFACTURER SHALL BE REQUIRED. FOR THE PRIME COAT, FIRST COAT AND THE SECOND COAT THE FIRST TWO COATS SHALL BE SLIGHTLY DIFFERENT FROM THE FINAL COAT IN COLOR. IF CERTIFICATIONS ARE NOT PROVIDED THE ENTIRE BUILDING MAYBE SUBJECT TO REPAINTING.

STRAP NUMBER:

06-45-21-04-00000.0000

ZONING CLASSIFICATION:

RM-2

PROJECT ADDRESS:

COVINGTON MEADOWS CIR LEHIGH ACRES FL 33936

LEGAL DESCRIPTION

PARKWOOD UNIT 4 FB28 PG100 PT OF PARCEL B AS DESC IN OR2119/1910

OWNER:

COVINGTON MEADOWS I, LLC 4224 RENAISSANCE PRESERVE WAY FORT MYERS, FLORIDA 33916

CODE COMPLIANCE STATEMENT:

TO THE BEST OF MY KNOWLEDGE THESE PLANS WERE PREPARED AND SHALL COMPLY WITH THE FLORIDA EXISTING BUILDING CODE 6TH EDITION (2017), FLORIDA BUILDING CODE 6TH EDITION (2017).

CODES IN EFFECT AT TIME OF CONSTRUCTION:

6TH EDITION FLORIDA EXISTING BUILDING CODE (2017) FLORIDA BUILDING CODE 6TH EDITION (2017)

GENERAL PROJECT DESCRIPTION

THE BASIC SCOPE AND INTENT OF THIS PROJECT IS THE REMOVAL AND REPLACEMENT OF EXISTING WINDOWS AND SLIDING GLASS DOORS ON TWO EXISTING BUILDINGS AT THE COVINGTON MEADOWS APARTMENTS. IN THE EVENT THAT THE COST OF THE PROJECT EXCEEDS THE AVAILABLE FUNDING ONLY ONE BUILDING WILL BE COMPLETED. THE PRIORITY WILL BE THE WEST BUILDING AND THEN THE EAST BUILDING. THE CONTRACTOR SHALL INCLUDE IN HIS BID PROPOSAL A COST FOR COMPLETING BOTH BUILDING AND ONE FOR COMPLETING ONLY ONE BUILDING. THESE UNITS ARE OCCUPIED SO CARE AND COORDINATION MUST BE PROVIDED FOR BOTH THE SAFETY OF THE RESIDENTS AND THEIR PROPERTY.

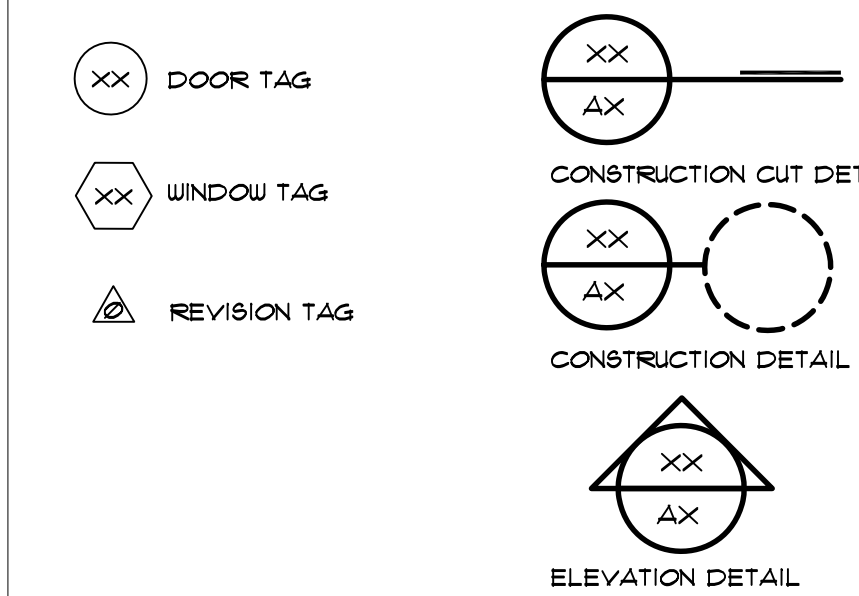
THE EXISTING WINDOWS AND SLIDING GLASS DOORS SHALL BE REMOVED. THE REMOVAL WILL INCLUDE THE STUCCO, METAL LATH, FASTENERS, STUCCO ACCESSORY TRIM AND MOISTURE PROTECTION DOWN TO THE EXISTING PLYWOOD SHEATHING ON THE SECOND FLOOR AND TO THE EXISTING MASONRY ON THE FIRST FLOOR. NEW STUCCO BANDS SHALL BE APPLIED AND REPAINTING OF THE AREAS OF THE BUILDING AS DESCRIBED WITHIN THESE CONSTRUCTION DOCUMENTS.

THE PAINTING SHALL MATCH THE EXISTING PAINT SCHEME. ALL NEW SLIDING GLASS DOOR FRAMES AND NEW WINDOW FRAMES SHALL BE CAULKED TO PROVIDE A WATER TIGHT SEAL. APPLICATION OF THE SEALANT SHALL BE MADE PER THE CAULKING AND SEALANTS SPECIFICATION.

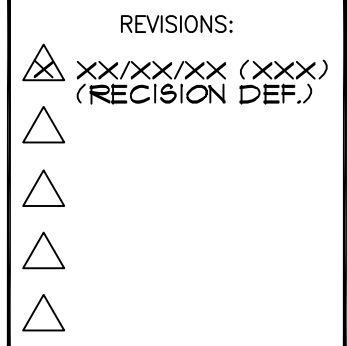
WORK INCLUDED:

- 1. THE CONTRACTOR SHALL PROVIDE LIABILITY INSURANCE NOT LESS THAN \$1,000,000.00 / \$1,000,000.00 AND PROPERTY DAMAGE INSURANCE NOT LESS THAN \$500,000.00 / \$500,000.00. IN ADDITION THE CONTRACTOR SHALL PROVIDE WORKMAN'S COMPENSATION AS REQUIRED BY LAW AND FIRE INSURANCE WITH EXTENDED COVERAGE.
2. COMPLETION OF ALL WORK AS DESCRIBED BY THESE DOCUMENTS AND AS REQUIRED TO COMPLETE THE INTENT OF THE PROJECT WHICH IS THE REPLACEMENT OF THE EXISTING SLIDING GLASS DOORS AND WINDOWS.
3. THERE IS NO SITE WORK ASSOCIATED WITH THIS PROJECT, ACCEPT FOR GENERAL CLEANUP RELATED TO THE PRIMARY SCOPE OF THE PROJECT.
4. PERMIT FEES AND ALL CONTRACTOR AND SUB CONTRACTOR PERMITS.

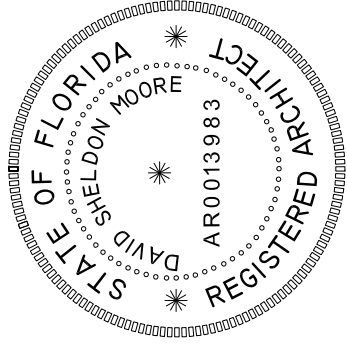
GENERAL SYMBOLS



SET NO.



MSA MOORE & SPENCE ARCHITECTS, P.A. 12613 NEW BRITANNY BLVD. FORT MYERS, FLORIDA 33907 (239) 278-3520 FAX (239) 278-3519 AA # 0003608



WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR COVINGTON MEADOWS, BUILDINGS 1 & 11 COVINGTON MEADOWS I, LLC PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA BUILDING CODE REVIEW / CODE DATA / PROJECT DESCRIPTION / NOTES / GENERAL SYMBOLS

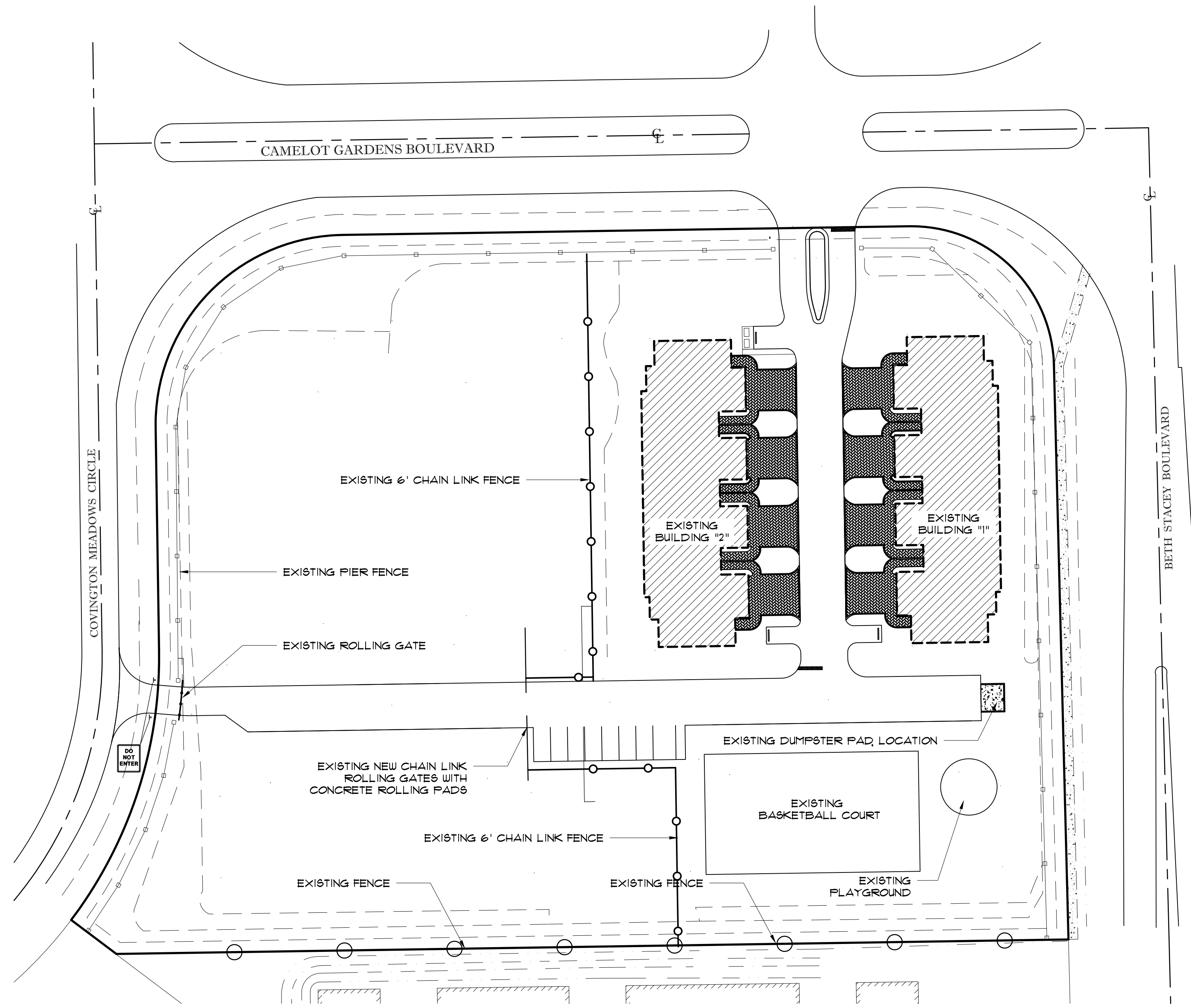
JOB NO: 20037 07/31/2020

SHEET NO: CS2

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:11 PM 20037-02-Cs2.dwg Vic DePue, Moore and Spence Architects

COPYRIGHT 2020 MSA MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED. UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX)
 Vic DePue, Moore and Spence Architects 7/30/2020 1:10 PM 20037-03-As1.dwg



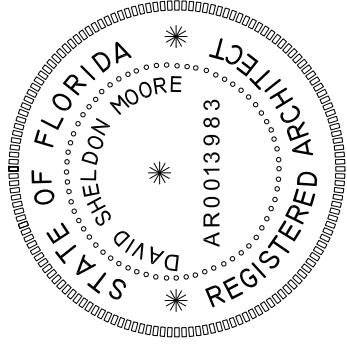
GENERAL SITE NOTE

THE SITE PLAN IS ONLY PROVIDED FOR INFORMATIONAL PURPOSES. MOORE & SPENCE ARCHITECTS, P.A. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.

SET NO:

REVISIONS:
 △ XX/XX/XX (XXX)
 (REVISION DEF.)
 △
 △
 △
 △

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 00030069



COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.
 WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
 ARCHITECTURAL SITE PLAN

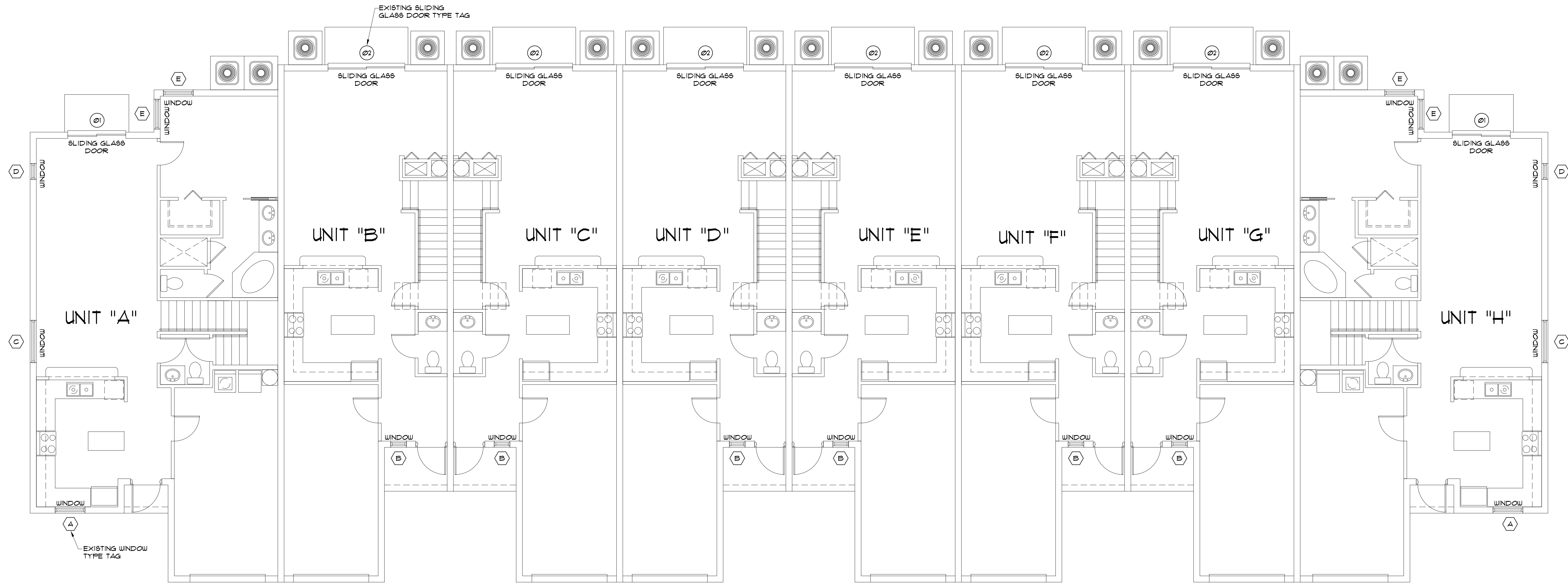
JOB No:
20037
 07/31/2020

SHEET No:
AS1



ARCHITECTURAL SITE PLAN 1
 SCALE 1" = 40'-0"

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:10 PM 20037-04-FP1-EXIST-1.dwg
 Vic DePue, Moore and Spence Architects



NOTES:

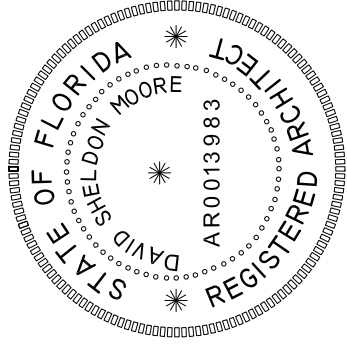
1. ALL EXISTING GARAGE DOORS AND MAIN ENTRY DOORS ARE TO REMAIN.
2. FIELD VERIFY ALL WINDOW AND SLIDING GLASS DOOR SIZES BEFORE ORDERING.

SET NO:

REVISIONS:

△	XX/XX/XX (XXX)	(REVISION DEF.)
△		
△		
△		

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 0003009



COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.
 WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
EXISTING FIRST FLOOR PLAN

JOB No:
20037
 07/31/2020

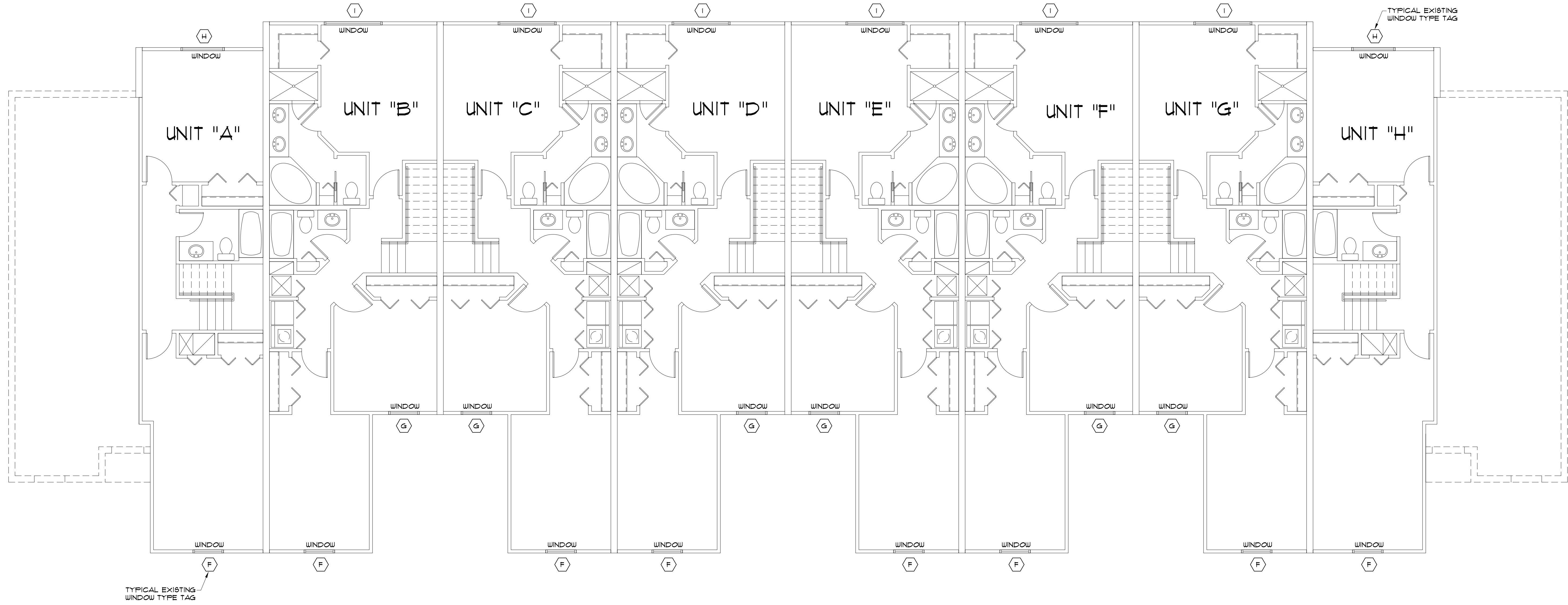
SHEET No:
A1

EXISTING FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

1

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:10 PM 20037-05-FP2-EXIST-2.dwg
Vic DePue, Moore and Spence Architects



NOTES:
1. FIELD VERIFY ALL WINDOW SIZES BEFORE ORDERING.

EXISTING SECOND FLOOR PLAN

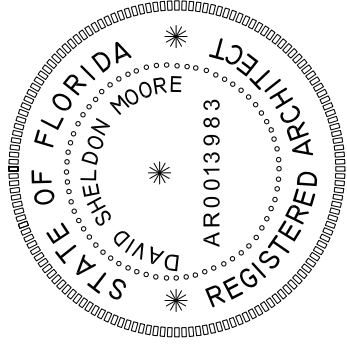
SCALE 3/16" = 1'-0"

SET NO:

REVISIONS:

△	XX/XX/XX (XXX)	(REVISION DEF.)
△		
△		
△		

MSA MOORE & SPENCE ARCHITECTS, P.A.
12613 NEW BRITANNY BLVD.
FORT MYERS, FLORIDA 33907
(239) 278-3520 FAX (239) 278-3519
AA # 0003069



COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.
WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
COVINGTON MEADOWS I, LLC
PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
EXISTING SECOND FLOOR PLAN

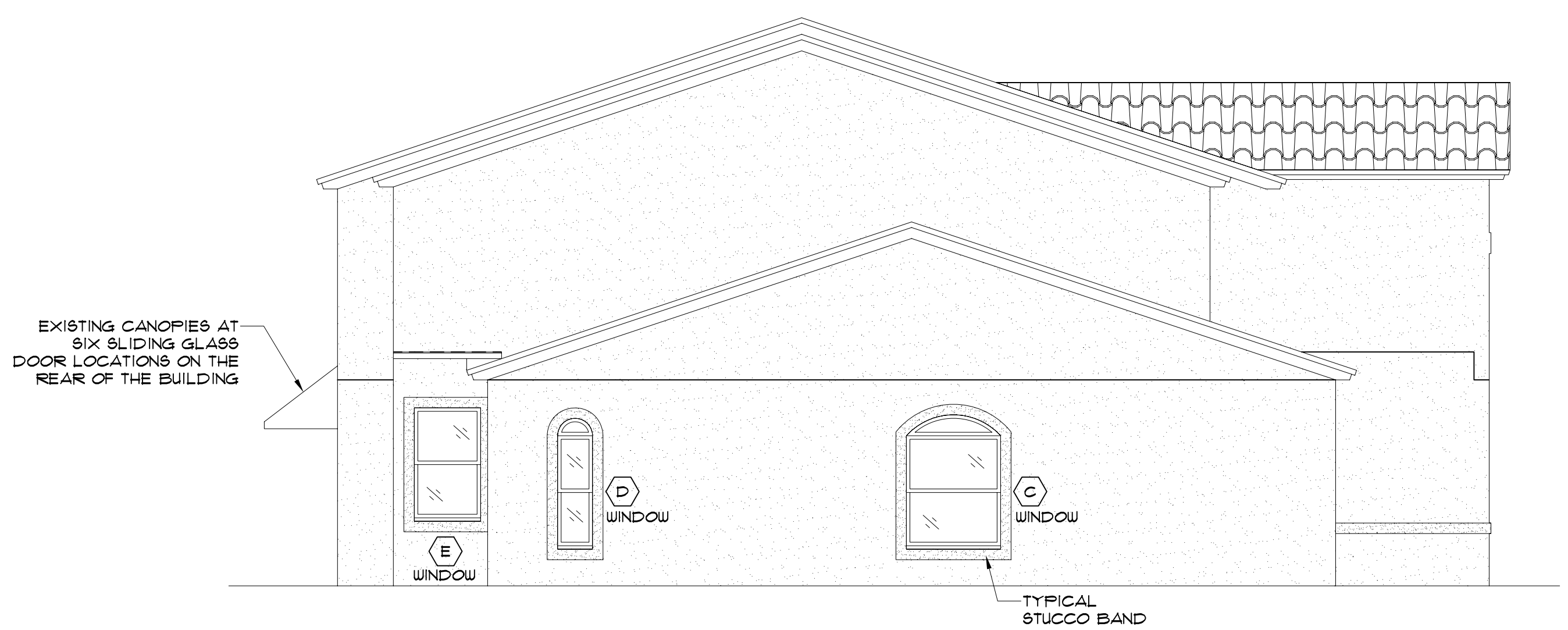
JOB No:
20037
07/31/2020

SHEET No:
A2

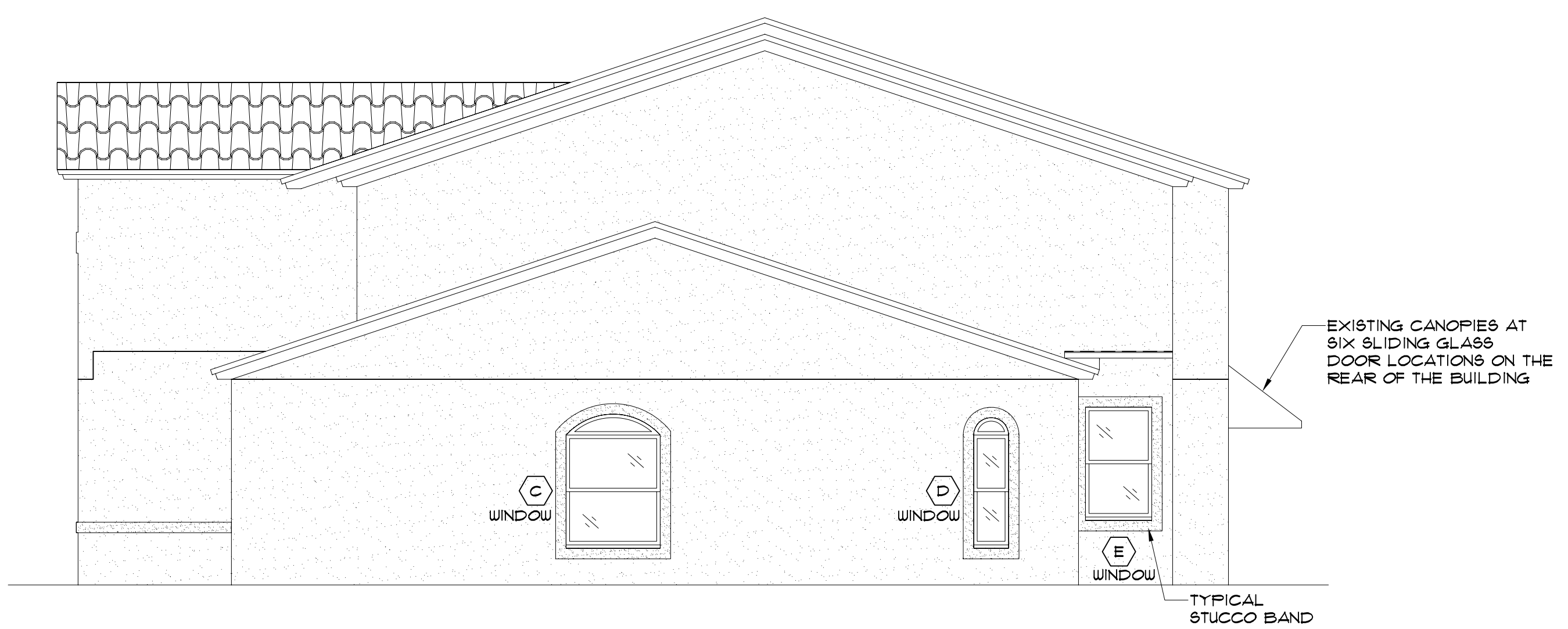
Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 20037-06-ELV1-EXIST.dwg 7/30/2020 1:10 PM Vic DePue, Moore and Spence Architects



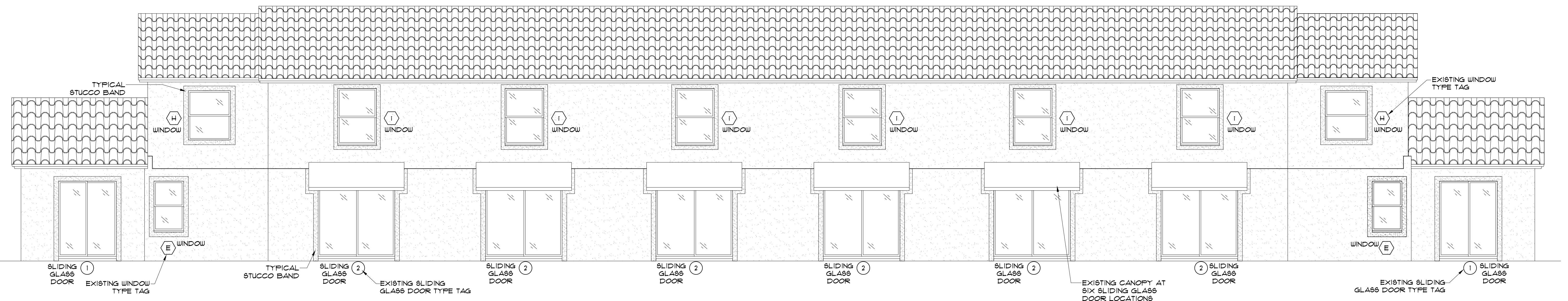
EXISTING FRONT ELEVATION
SCALE 3/16" = 1'-0" 1



EXISTING LEFT SIDE ELEVATION
SCALE 3/16" = 1'-0" 3



EXISTING RIGHT SIDE ELEVATION
SCALE 3/16" = 1'-0" 2

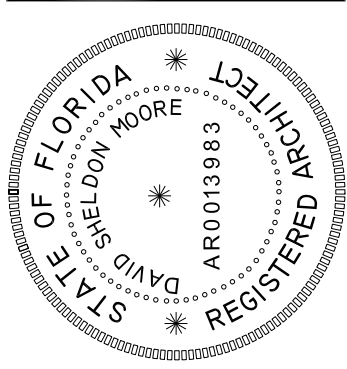


EXISTING REAR ELEVATION
SCALE 3/16" = 1'-0" 4

SET NO:

REVISIONS:
△ XXX/XX/XX (XXX) (REVISION DEF.)
△
△
△

MSA MOORE & SPENCE ARCHITECTS, P.A.
7290 COLLEGE PARKWAY, SUITE 306
FORT MYERS, FLORIDA 33907
(239) 278-3520 FAX (239) 278-3519
AA # 0003069



**WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
COVINGTON MEADOWS I, LLC
PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA**
EXISTING EXTERIOR ELEVATIONS

JOB No:
20037
07/31/2020

SHEET No:
A3

COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:10 PM 20037-07-FP3-DEMO-1.dwg
 Vic DePue, Moore and Spence Architects

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL VISIT THE PROJECT AND BECOME TOTALLY FAMILIAR WITH THE EXISTING CONDITIONS FOR THE FAITHFUL PERFORMANCE OF THE WORK SPECIFIED IN THESE DRAWINGS. ANY QUESTIONS OR DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE OWNER'S REPRESENTATIVE FOR RESOLUTION. NO ALLOWANCE SHALL BE MADE FOR EXTRAS PAID WITHOUT THE APPROVAL OF THE OWNER OR OWNERS REP.
2. THE EXTENT OF THE DEMOLITION SHALL BE AS SPECIFIED IN THE SCOPE OF WORK AND ON THE DEMOLITION PLANS.
3. REMOVE EXISTING OR PORTION THEREOF WALLS, WINDOWS, FLOORING, GYPSUM, ROOFING, DOORS AND FRAMES AS SHOWN ON DEMOLITION PLAN AND PREPARE ALL ADJACENT SURFACES TO RECEIVE NEW FINISHES.
4. ALL DISTURBED FLOORS, WALLS, ETC. SHALL BE PATCHED, PAINTED AND REPAIRED IN A WORKSHOP LIKE MANNER TO MATCH THE SURROUNDING SURFACE CONDITIONS WHERE THERE IS DAMAGED CAUSED DURING THE COURSE OF THIS WORK.
5. ANY WALLS TO BE REMOVED THAT EXTEND TO THE UNDERSIDE OF THE ROOF DECK ABOVE SHALL BE TOTALLY REMOVED TO THE UNDERSIDE OF THE SAID ROOF DECK.
6. PLUMBING TO BE REMOVED PERMANENTLY SHALL BE CAPPED OFF AND LEFT IN WALL OR BELOW THE SLAB IN A SAFE, CODE CONFORMING AND PERMANENT WAY.
7. ALL ELECTRICAL WIRING THAT IS REMOVED SHALL BE REMOVED PER THE SCOPE OF WORK.
8. EXISTING CEILING THROUGHOUT THE ENTIRE INTERIOR OF THE BUILDING SHALL BE DEMOLISHED TO INCLUDE GYPSUM BOARD, MECHANICAL GRILLS AND ELECTRICAL FIXTURES.
9. EXISTING CEILING INSULATION SHALL BE REMOVED AND DISCARDED.
10. INTERIOR DEMO TO INCLUDE: EXISTING FLOOR AND WALL TILE IN THE MEN'S AND WOMAN'S RESTROOM, FLOORING IN ALL OTHER ROOMS, CEILING FIXTURES, MECHANICAL GRILLS AND GYPSUM BOARD CEILINGS.
11. PRIOR TO DEMOLITION CONTRACTOR SHALL OBTAIN A HAZARDOUS MATERIALS REPORT TO VERIFY THERE ARE NO MATERIALS THAT NEED TO BE ABATED PRIOR TO DEMOLITION. TESTING IS PART OF CONTRACT.
12. DEMOLITION AND ABATEMENT OF HAZARDOUS MATERIALS IS NOT PART OF THE BASE BID. ADDITIONAL COST ASSOCIATED WITH ANY HAZARDOUS MATERIAL REMOVAL SHALL BE NEGOTIATED AS AN ADDITIONAL SERVICE.
13. WATER HEATER SHALL BE DISCONNECTED AND DEMOLISHED.
14. ALL APPLIANCES DESIGNATED FOR REMOVAL SHALL BE COMPLETELY AND ENTIRELY REMOVED FROM THE BUILDING ARE TO BE SAVED AND TEMPORARILY STORED AT THE PROJECT FOR THE OWNERS.
15. THE REMOVAL OF DEBRIS SHALL BE DISPOSED OF IN AN APPROVED COUNTY LANDFILL OR RECYCLING CENTER.
16. DUMP TICKETS SHALL BE PROVIDED FOR EACH LOAD.
17. REFER TO DEMOLITION PLAN AND THE SYMBOLS LEGEND FOR OTHER NOTATIONS PERTAINING TO THE DEMOLITION WORK.

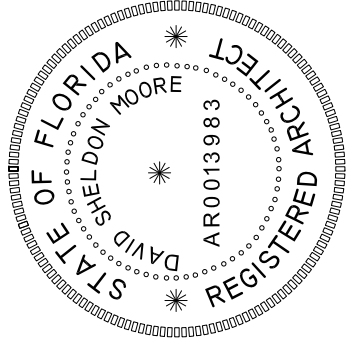
SET NO:

REVISIONS:

XX/XX/XX (XXX)
 (REVISION DEF.)

△
 △
 △
 △

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 00030089

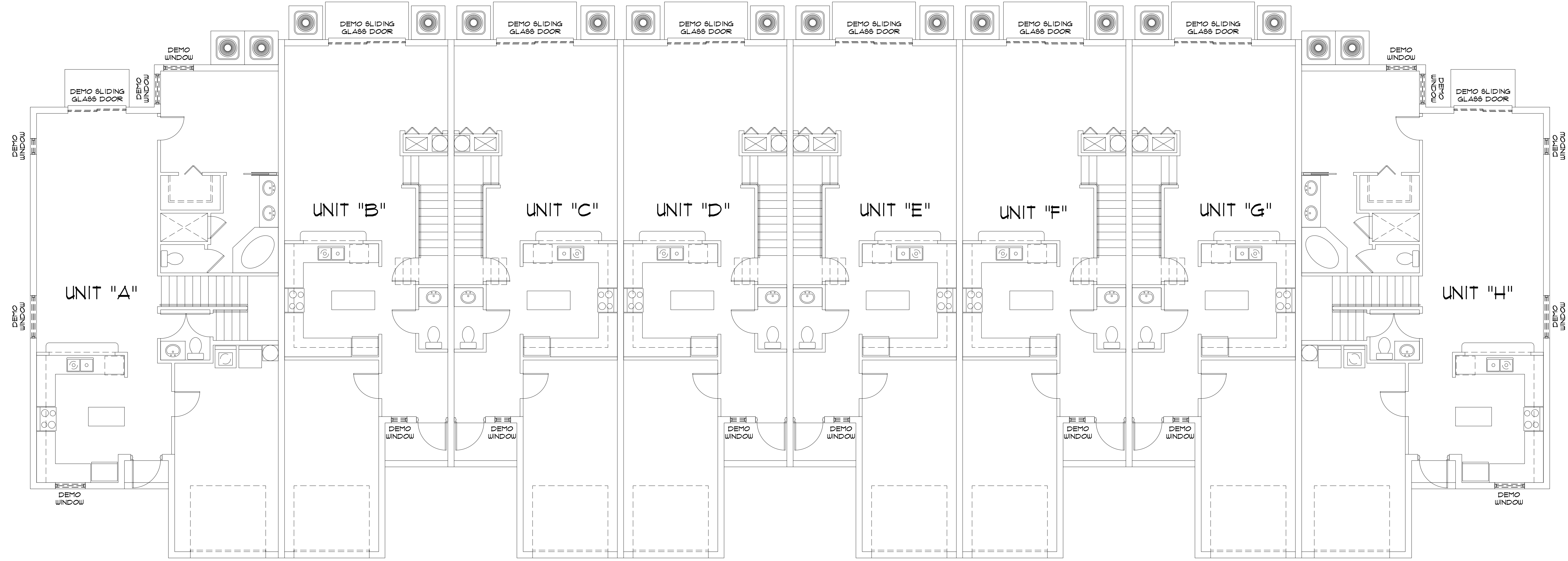


COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
DEMO PLAN FIRST FLOOR

JOB No:
20037
 07/31/2020

SHEET No:
A4



- NOTES:**
1. ALL EXISTING GARAGE DOORS AND MAIN ENTRY DOORS ARE TO REMAIN.
 2. ONLY WINDOW AND SLIDING GLASS DOORS INDICATED ARE TO BE DEMOLISHED.

DEMO PLAN FIRST FLOOR
 SCALE 3/16" = 1'-0"

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:10 PM 20037-08-FP4-DEMO-2.dwg
 Vic DePue, Moore and Spence Architects

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL VISIT THE PROJECT AND BECOME TOTALLY FAMILIAR WITH THE EXISTING CONDITIONS FOR THE FAITHFUL PERFORMANCE OF THE WORK SPECIFIED IN THESE DRAWINGS. ANY QUESTIONS OR DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THE OWNER'S REPRESENTATIVE FOR RESOLUTION. NO ALLOWANCE SHALL BE MADE FOR EXTRAS PAID WITHOUT THE APPROVAL OF THE OWNER OR OWNER'S REP.
2. THE EXTENT OF THE DEMOLITION SHALL BE AS SPECIFIED IN THE SCOPE OF WORK AND ON THE DEMOLITION PLANS.
3. REMOVE EXISTING OR PORTION THEREOF WALLS, WINDOWS, FLOORING, GYPSUM, ROOFING, DOORS AND FRAMES AS SHOWN ON DEMOLITION PLAN AND PREPARE ALL ADJACENT SURFACES TO RECEIVE NEW FINISHES.
4. ALL DISTURBED FLOORS, WALLS, ETC. SHALL BE PATCHED, PAINTED AND REPAIRED IN A WORKSHOP LIKE MANNER TO MATCH THE SURROUNDING SURFACE CONDITIONS WHERE THERE IS DAMAGED CAUSED DURING THE COURSE OF THIS WORK.
5. ANY WALLS TO BE REMOVED THAT EXTEND TO THE UNDERSIDE OF THE ROOF DECK ABOVE SHALL BE TOTALLY REMOVED TO THE UNDERSIDE OF THE SAID ROOF DECK.
6. PLUMBING TO BE REMOVED PERMANENTLY SHALL BE CAPPED OFF AND LEFT IN WALL OR BELOW THE SLAB IN A SAFE, CODE CONFORMING AND PERMANENT WAY.
7. ALL ELECTRICAL WIRING THAT IS REMOVED SHALL BE REMOVED PER THE SCOPE OF WORK.
8. EXISTING CEILINGS THROUGHOUT THE ENTIRE INTERIOR OF THE BUILDING SHALL BE DEMOLISHED TO INCLUDE GYPSUM BOARD, MECHANICAL GRILLS AND ELECTRICAL FIXTURES.
9. EXISTING CEILING INSULATION SHALL BE REMOVED AND DISCARDED.
10. INTERIOR DEMO TO INCLUDE: EXISTING FLOOR AND WALL TILE IN THE MEN'S AND WOMAN'S RESTROOM, FLOORING IN ALL OTHER ROOMS, CEILING FIXTURES, MECHANICAL GRILLS AND GYPSUM BOARD CEILINGS.
11. PRIOR TO DEMOLITION CONTRACTOR SHALL OBTAIN A HAZARDOUS MATERIALS REPORT TO VERIFY THERE ARE NO MATERIALS THAT NEED TO BE ABATED PRIOR TO DEMOLITION. TESTING IS PART OF CONTRACT.
12. DEMOLITION AND ABATEMENT OF HAZARDOUS MATERIALS IS NOT PART OF THE BASE BID. ADDITIONAL COST ASSOCIATED WITH ANY HAZARDOUS MATERIAL REMOVAL SHALL BE NEGOTIATED AS AN ADDITIONAL SERVICE.
13. WATER HEATER SHALL BE DISCONNECTED AND DEMOLISHED.
14. ALL APPLIANCES DESIGNATED FOR REMOVAL SHALL BE COMPLETELY AND ENTIRELY REMOVED FROM THE BUILDING ARE TO BE SAVED AND TEMPORARILY STORED AT THE PROJECT FOR THE OWNERS.
15. THE REMOVAL OF DEBRIS SHALL BE DISPOSED OF IN AN APPROVED COUNTY LANDFILL OR RECYCLING CENTER.
16. DUMP TICKETS SHALL BE PROVIDED FOR EACH LOAD.
17. REFER TO DEMOLITION PLAN AND THE SYMBOLS LEGEND FOR OTHER NOTATIONS PERTAINING TO THE DEMOLITION WORK.

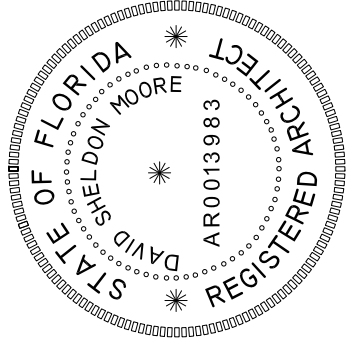
SET NO:

REVISIONS:

XX/XX/XX (XXX)
 (REVISION DEF.)

△
 △
 △
 △

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 00030069

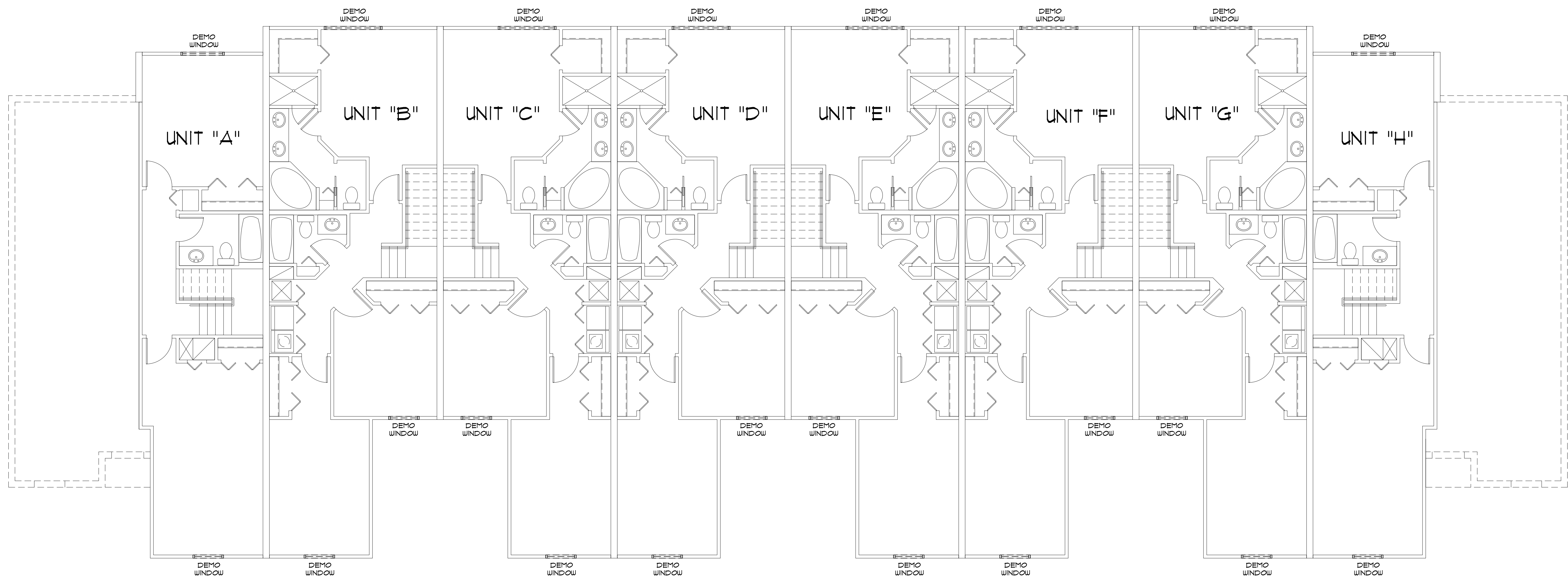


COPYRIGHT © 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS 1, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
DEMO PLAN SECOND FLOOR

JOB No:
20037
 07/31/2020

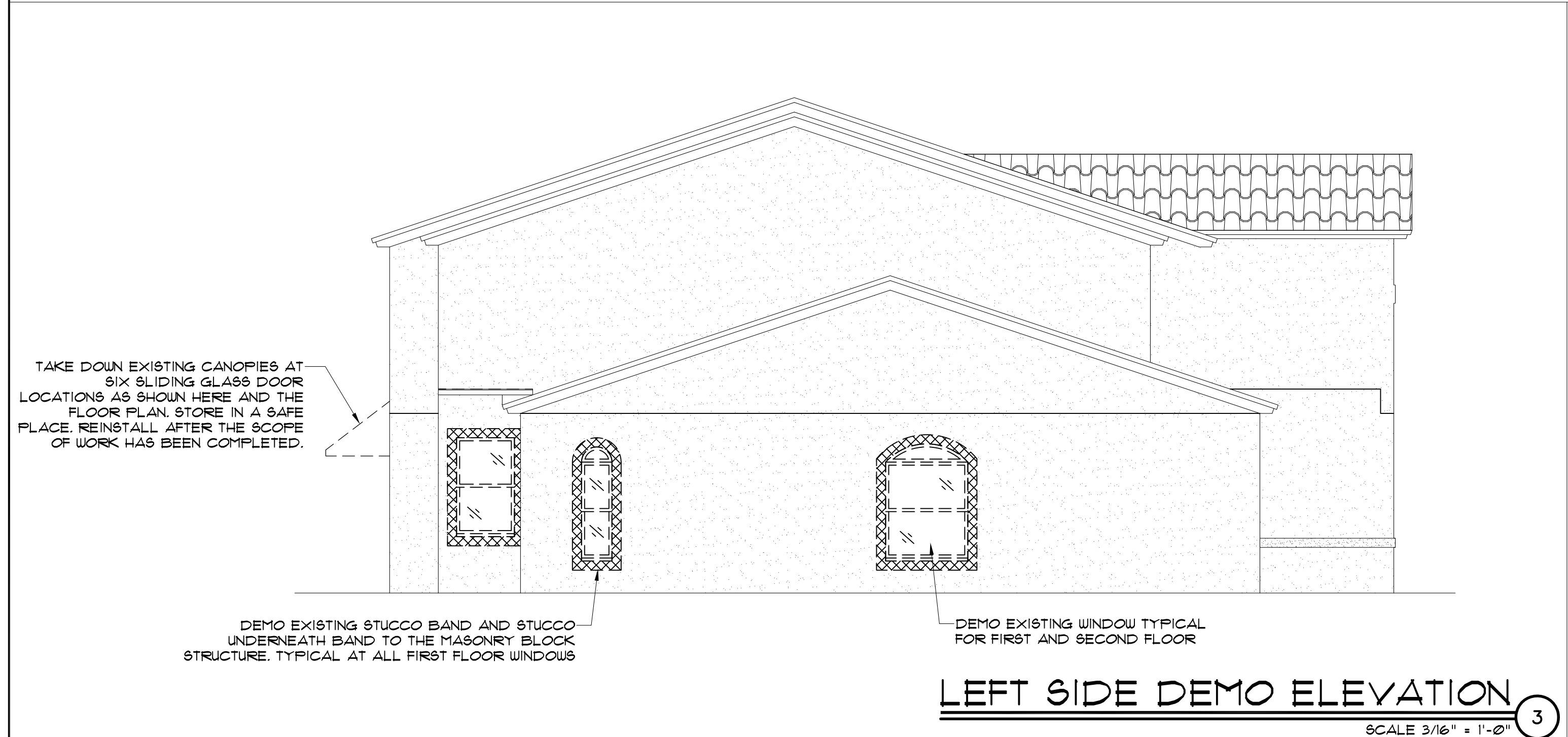
SHEET No:
A5



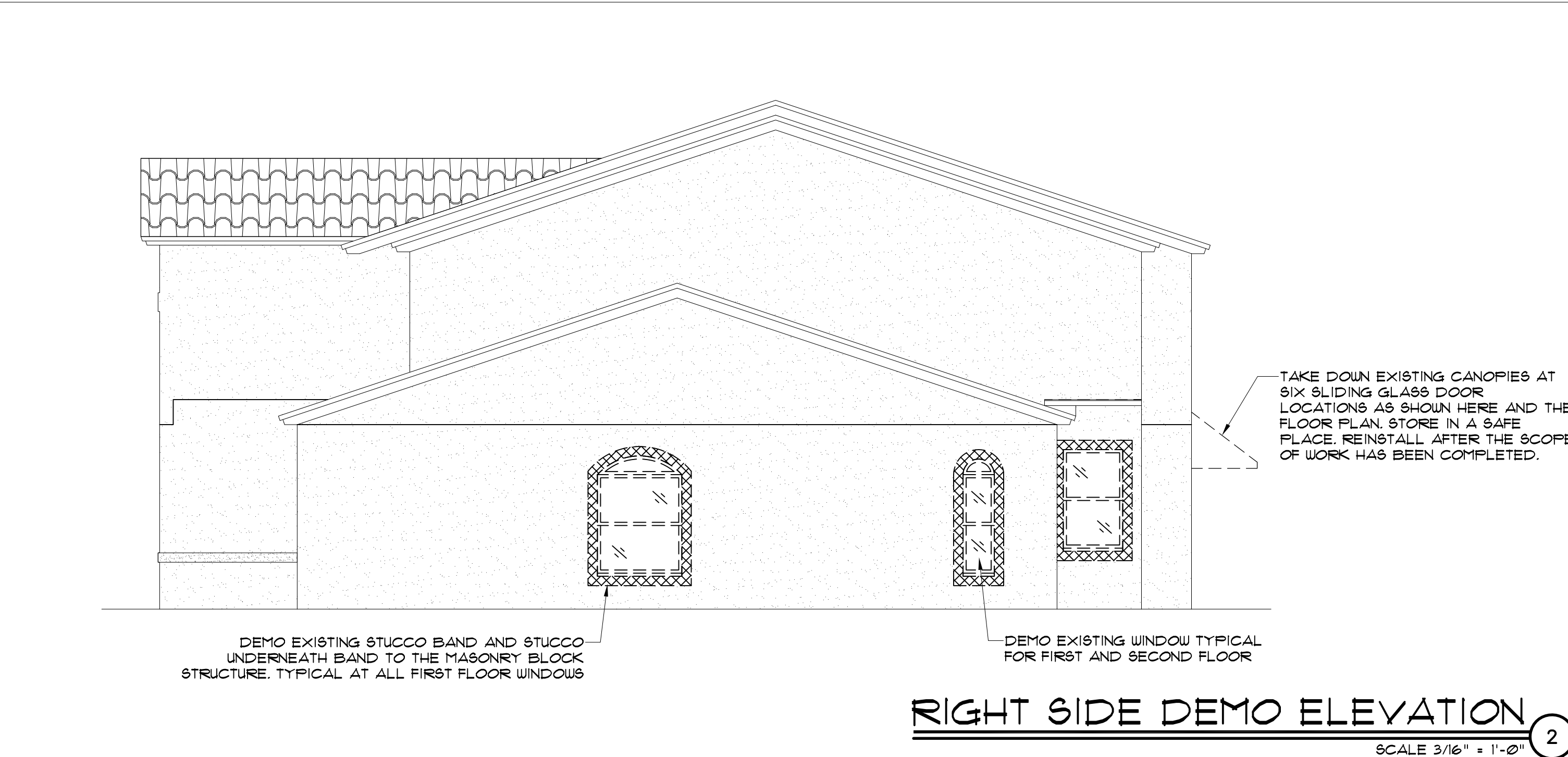
Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 20037-09-EL V2-DEMO.dwg
 7/30/2020 1:10 PM Vic DePue, Moore and Spence Architects



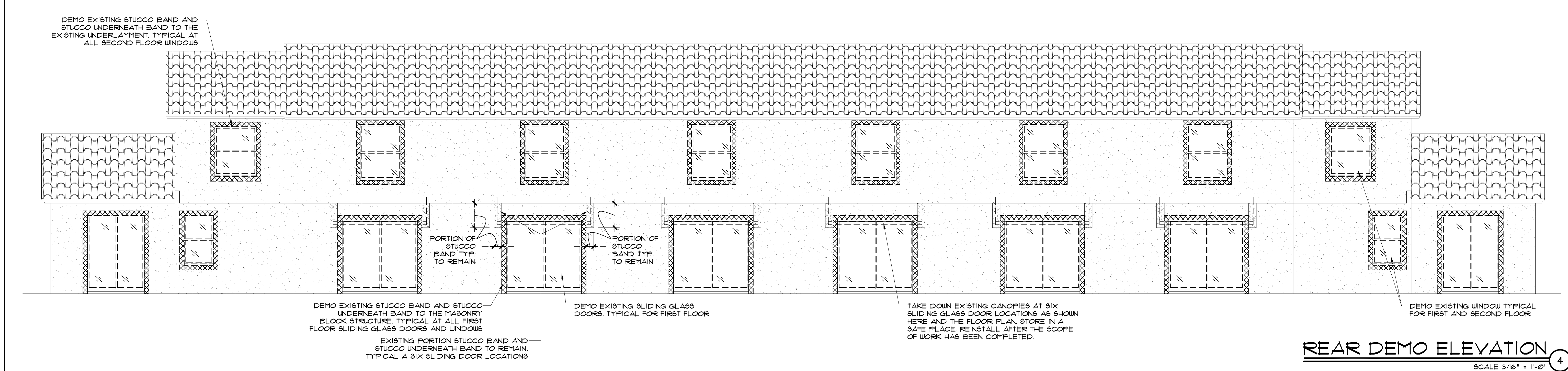
FRONT DEMO ELEVATION 1
 SCALE 3/16" = 1'-0"



LEFT SIDE DEMO ELEVATION 3
 SCALE 3/16" = 1'-0"



RIGHT SIDE DEMO ELEVATION 2
 SCALE 3/16" = 1'-0"

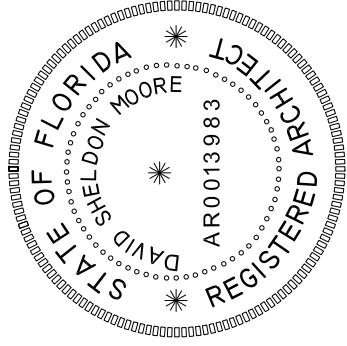


REAR DEMO ELEVATION 4
 SCALE 3/16" = 1'-0"

SET NO:

REVISIONS:
 △ XXXXX/XX (XXX)
 (REVISION DEF.)
 △
 △
 △

MSA MOORE & SPENCE ARCHITECTS, P.A.
 7290 COLLEGE PARKWAY, SUITE 306
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 0003069



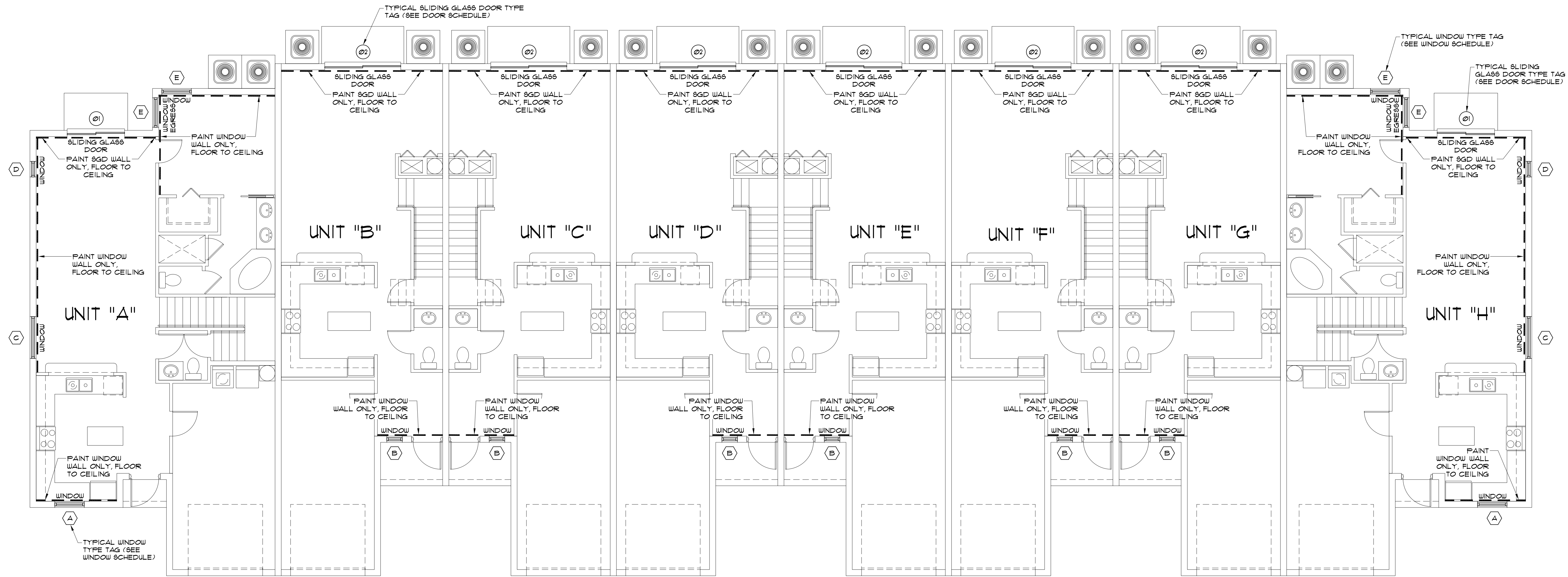
WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
 DEMO ELEVATIONS

JOB No:
20037
 07/31/2020

SHEET No:
A6

COPYRIGHT 2020, MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED. UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:09 PM 20037-10-FP5-PROP-1.dwg
 Vic DePue, Moore and Spence Architects



NOTES:

1. ALL GARAGE DOORS AND MAIN ENTRY DOORS ARE EXISTING TO REMAIN.
2. FIELD VERIFY ALL WINDOW SIZES BEFORE ORDERING.
3. INTERIOR PAINTING SHALL BE LIMITED TO THE WINDOW WALL AND THE SLIDING GLASS DOOR WALL IN EACH ROOM WHERE THE WINDOW AND SLIDING GLASS DOOR HAS BEEN REPLACED. (SEE PAINT SCHEDULE).
4. EXTERIOR PAINTING SHALL BE LIMITED TO THE STUCCO BAND AROUND WINDOWS, SLIDING GLASS DOORS AND TOUCH UP AROUND BAND WHERE DEMO WITH REMEDIATION HAS TAKEN PLACE. PAINT COLOR SHALL MATCH EXISTING BAND AND WALL COLOR. (SEE PAINT SCHEDULE).

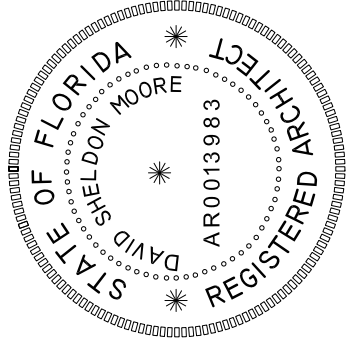
PROPOSED FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

SET NO:

REVISIONS:
△ XX/XX/XX (XXX) (REVISION DEF.)
△
△
△

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 0003009



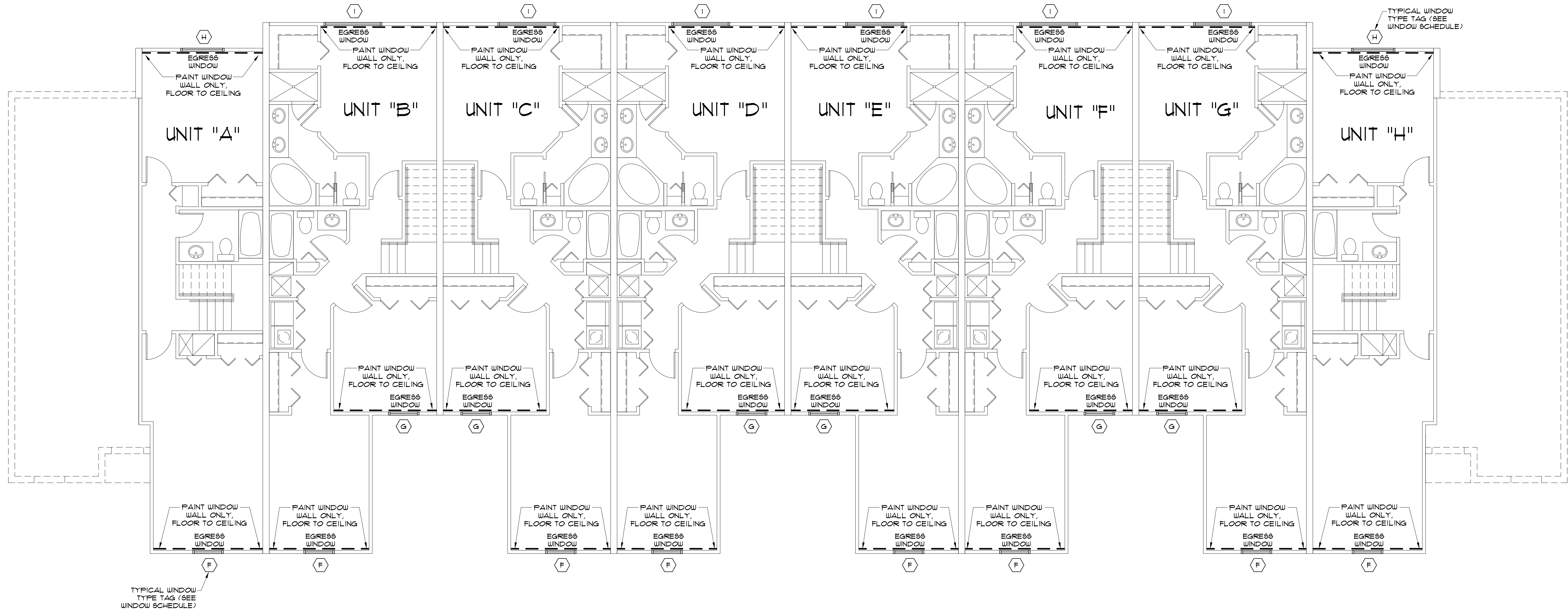
COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
PROPOSED FIRST FLOOR PLAN

JOB No:
20037
 07/31/2020

SHEET No:
A1

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:09 PM 20037-11-FP6-PROP-2.dwg
 Vic DePue, Moore and Spence Architects



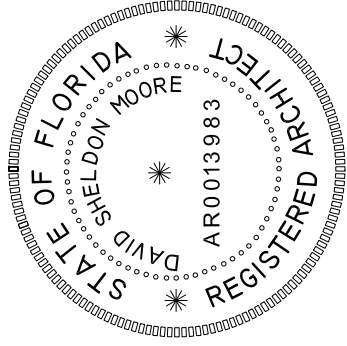
- NOTES:**
1. FIELD VERIFY ALL WINDOW SIZES BEFORE ORDERING.
 2. INTERIOR PAINTING SHALL BE LIMITED TO THE WINDOW WALL IN EACH ROOM WHERE THE WINDOW HAS BEEN REPLACED. (SEE PAINT SCHEDULE).
 3. EXTERIOR PAINTING SHALL BE LIMITED TO THE STUCCO BAND AROUND WINDOWS AND TOUCH UP AROUND BAND WHERE DEMO WITH REMEDIATION HAS TAKEN PLACE. PAINT COLOR SHALL MATCH EXISTING BAND AND WALL COLOR. (SEE PAINT SCHEDULE).

SET NO:

REVISIONS:

△	XX/XX/XX (XXX)	(REVISION DEF.)
△		
△		
△		

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 0003006



COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA

PROPOSED SECOND FLOOR PLAN

JOB No:
20037
 07/31/2020

SHEET No:
48

PROPOSED SECOND FLOOR PLAN

SCALE 3/16" = 1'-0"

1

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 7/30/2020 1:07 PM 20037-12-ELV3-PROP.dwg
 Vic DePue, Moore and Spence Architects



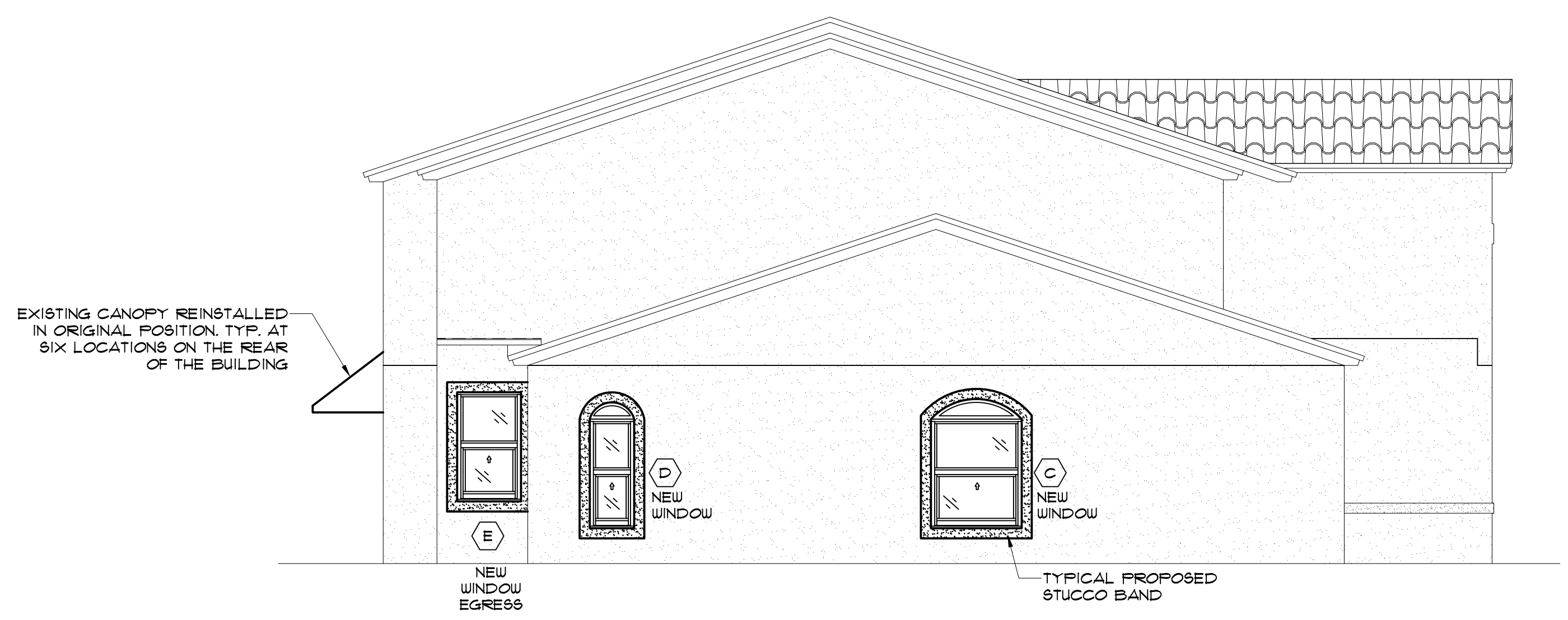
ROOF STRUCTURE GHOSTED TO SHOW COMPLETE WINDOW AND STUCCO BAND

NOTE:

1. ALL GARAGE DOORS AND MAIN ENTRY DOORS ARE EXISTING TO REMAIN.
2. VERIFY ALL WINDOW AND SLIDING DOOR SIZES BEFORE ORDERING.
3. EXTERIOR PAINTING SHALL BE LIMITED TO THE STUCCO BAND AROUND WINDOWS, SLIDING GLASS DOORS AND TOUCH UP AROUND BAND WHERE DEMO WITH REMEDIATION HAS TAKEN PLACE. PAINT COLOR SHALL MATCH EXISTING BAND AND WALL COLOR.

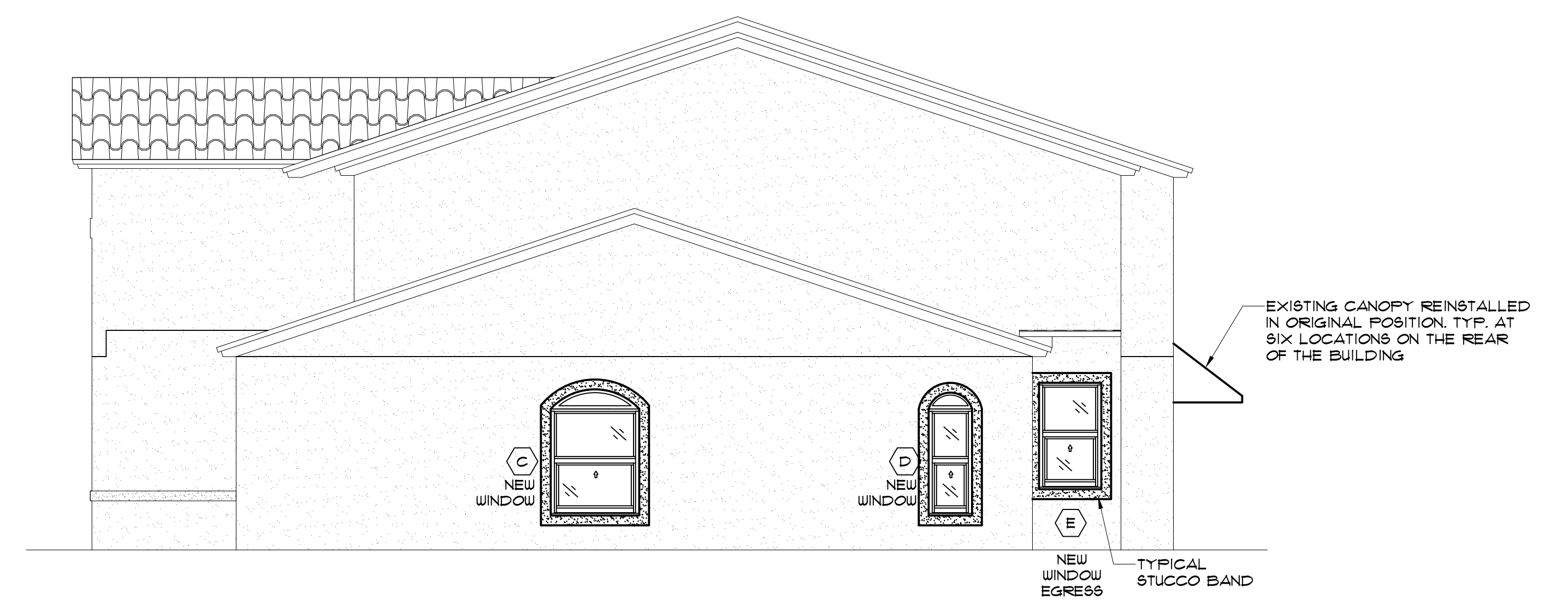
PROPOSED FRONT ELEVATION 1

SCALE 3/16" = 1'-0"



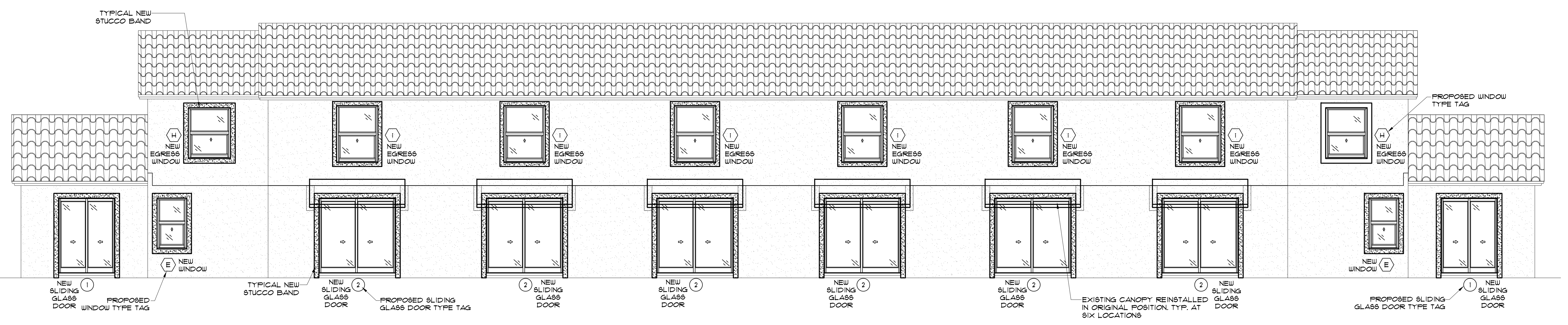
PROPOSED LEFT SIDE ELEVATION 3

SCALE 3/16" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION 2

SCALE 3/16" = 1'-0"



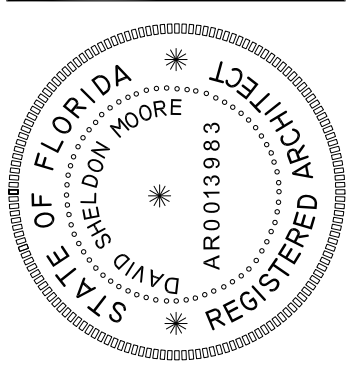
PROPOSED REAR ELEVATION 4

SCALE 3/16" = 1'-0"

SET NO. (circle)

REVISIONS:
 (triangle symbols)
 XXXXX/XX (XXX)
 (REVISION DEF.)

MSA MOORE & SPENCE ARCHITECTS, P.A.
 7290 COLLEGE PARKWAY, SUITE 306
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 0003069



COPYRIGHT 2020, MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED. UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
PROPOSED EXTERIOR ELEVATIONS

JOB No:
20037
 07/31/2020

SHEET No:
49

Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 20037-13-SCHD1.dwg 20037-13-SCHD1.dwg 7/30/2020 1:07 PM Vic DePue, Moore and Spence Architects

WIND PRESSURES

DESIGN WIND PRESSURES FOR NEW SLIDING GLASS DOORS AND WINDOWS SHALL BE:
 POSITIVE PRESSURE +35
 NEGATIVE PRESSURE -41
 THESE PRESSURES ARE DESIGNED TO ACCOMMODATE END WALL ZONE WINDOWS.

* SPECIAL SIZE WINDOW NOTE:

- WINDOW TYPE "11" IS AN SPECIAL SIZE WINDOW. THE CONTRACTOR SHALL VERIFY ACTUAL HEIGHT AND WIDTH OF THIS WINDOW, (AS WELL AS ALL OTHER WINDOWS), BEFORE ORDERING NEW IMPACT RESISTANT WINDOWS.

SLIDING GLASS DOOR NOTES:

- SLIDING GLASS DOORS SHALL BE EQUAL TO PGT - WINGUARD - SGD-110 SERIES IMPACT RESISTANT SLIDING GLASS DOOR WITH SCREEN. FLORIDA PRODUCT APPROVAL NUMBER: FL-251-R25 / 2514. N.O.A. APPROVAL NUMBER: 18-0430.06.
- CONTRACTOR SHALL VERIFY ACTUAL OPENING SIZES PRIOR TO ORDERING DOORS.
- PROVIDE CONTINUOUS SEALANT AROUND DOOR FRAMES.
- FRAME FINISH SHALL BRONZE.
- GLAZING SHALL BE IMPACT RESISTANT, INSULATED HIGH PERFORMANCE, LOW "E" GLAZING WITH A MINIMUM SHGC OF 0.25 AND A "U" VALUE OF 0.15.
- GLAZING TINT SHALL BE MATCH EXISTING.
- IF REQUIRED BY THE BUILDING DEPARTMENT, THE CONTRACTOR SHALL PROVIDE COPIES OF ALL REQUIRED FLORIDA PRODUCT APPROVALS FOR PERMITTING.
- INSTALLATION OF SLIDING GLASS DOORS SHALL BE PER CODE REQUIREMENTS, MANUFACTURERS SPECIFICATIONS, DRAWINGS AND THE FLORIDA PRODUCT APPROVAL.

WINDOW NOTES:

- ALL WINDOW TYPES SHALL BE EQUAL TO PGT - WINGUARD - SH-100 SERIES IMPACT RESISTANT SINGLE HUNG WINDOWS WITH SCREENS. FLORIDA PRODUCT APPROVAL NUMBER: FL-239-R25 / 2393. N.O.A. APPROVAL NUMBER: 18-0430.06.
- THE WINDOW SYSTEMS SHALL BE DESIGNED TO WITH STAND ULT 160 MPH WIND SPEEDS AND THE ASSOCIATED POSITIVE AND NEGATIVE PRESSURES.
- CONTRACTOR SHALL VERIFY ACTUAL OPENING SIZES PRIOR TO ORDERING WINDOWS.
- PROVIDE CONTINUOUS SEALANT AROUND ALL WINDOW FRAMES.
- FRAME FINISH SHALL BRONZE.
- WHERE SHOWN, MUNTINS SHALL BE APPLIED INSIDE AND OUTSIDE.
- GLAZING FOR WINDOWS SHALL BE IMPACT RESISTANT, INSULATED HIGH PERFORMANCE, LOW "E" GLAZING WITH A MINIMUM SHGC OF 0.25 AND A "U" VALUE OF 0.15.
- GLAZING TINT SHALL BE MATCH EXISTING.
- IF REQUIRED BY THE BUILDING DEPARTMENT, THE CONTRACTOR SHALL PROVIDE COPIES OF ALL REQUIRED FLORIDA PRODUCT APPROVALS FOR PERMITTING.
- INSTALLATION OF SLIDING GLASS DOORS SHALL BE PER CODE REQUIREMENTS, MANUFACTURERS SPECIFICATIONS, DRAWINGS AND THE FLORIDA PRODUCT APPROVAL.

SET NO:

REVISIONS:

XX/XX/XX (XXX)
 (REVISION DEF.)

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 0003008

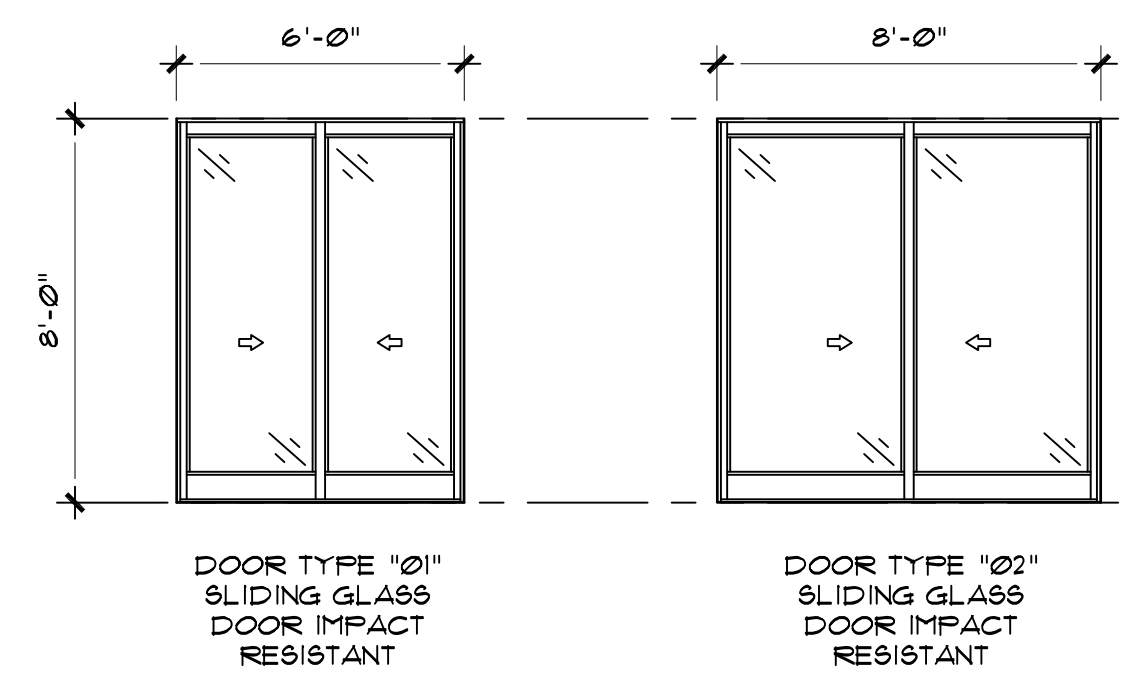
STATE OF FLORIDA
 DIVISION OF CONSTRUCTION
 REGISTERED ARCHITECT
 AR0013883

COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

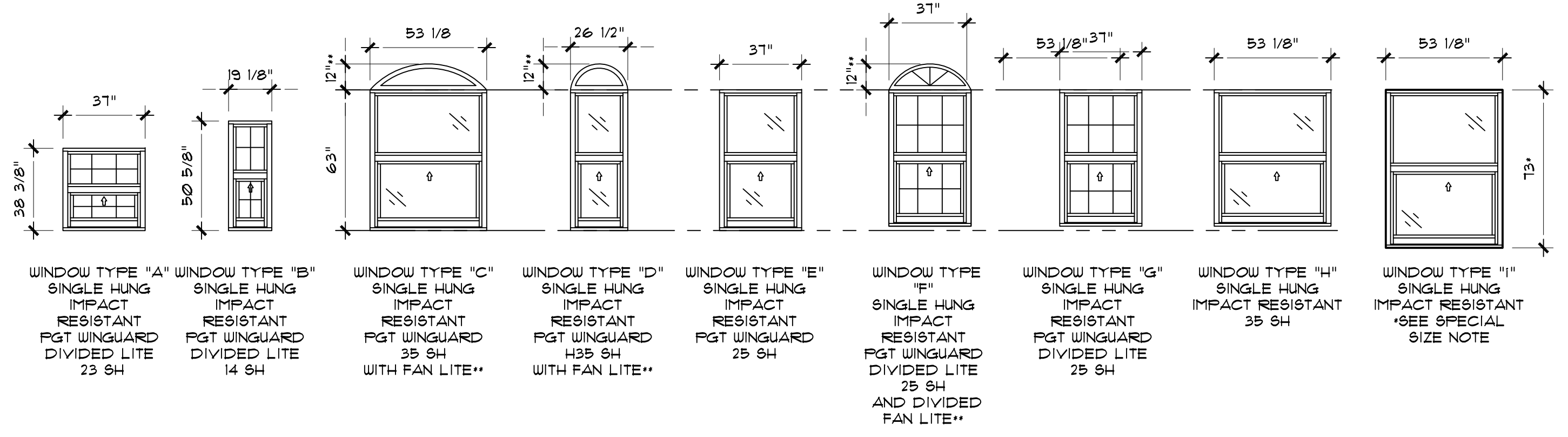
WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
 COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS 1, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
 WINDOW AND DOOR SCHEDULES / WINDOW FLASHING SEQUENCE / GLAZING NOTE

JOB NO:
20037
 07/31/2020

SHEET NO:
A10



SLIDING GLASS DOOR ELEVATIONS
 SCALE: 1/4" = 1'-0" 3



WINDOW ELEVATIONS
 SCALE: 1/4" = 1'-0" 2

FIRST FLOOR WINDOW SCHEDULE							
WINDOW TYPE TAG	WINDOW TYPE	ELEVATION	SIZE (WxH)	EXISTING - DEMO - PROPOSED SEE SHEET A11 FOR DETAILS			REMARKS
				HEAD	JAMB	SILL	
A	SINGLE HUNG	"A"	37" x 38-3/8"	15 - 14 - 13	9 - 8 - 7	3 - 2 - 1	PGT - WINGUARD - 23 SH - SINGLE HUNG - FLANGE
B	SINGLE HUNG	"B"	19-1/8" x 50-5/8"	15 - 14 - 13	9 - 8 - 7	3 - 2 - 1	PGT - WINGUARD - 14 SH - SINGLE HUNG - FLANGE
C	SINGLE HUNG	"C"	53-1/8" x 63"	15 - 14 - 13	9 - 8 - 7	3 - 2 - 1	PGT - WINGUARD - 35 SH - SINGLE HUNG WITH FAN LITE TOP - FLANGE
D	SINGLE HUNG	"D"	26-1/2" x 63"	15 - 14 - 13	9 - 8 - 7	3 - 2 - 1	PGT - WINGUARD - H35 SH - SINGLE HUNG WITH FAN LITE TOP - FLANGE
E	SINGLE HUNG	"E"	37" x 63"	15 - 14 - 13	9 - 8 - 7	3 - 2 - 1	PGT - WINGUARD - 25 SH - SINGLE HUNG - EGRESS - FLANGE

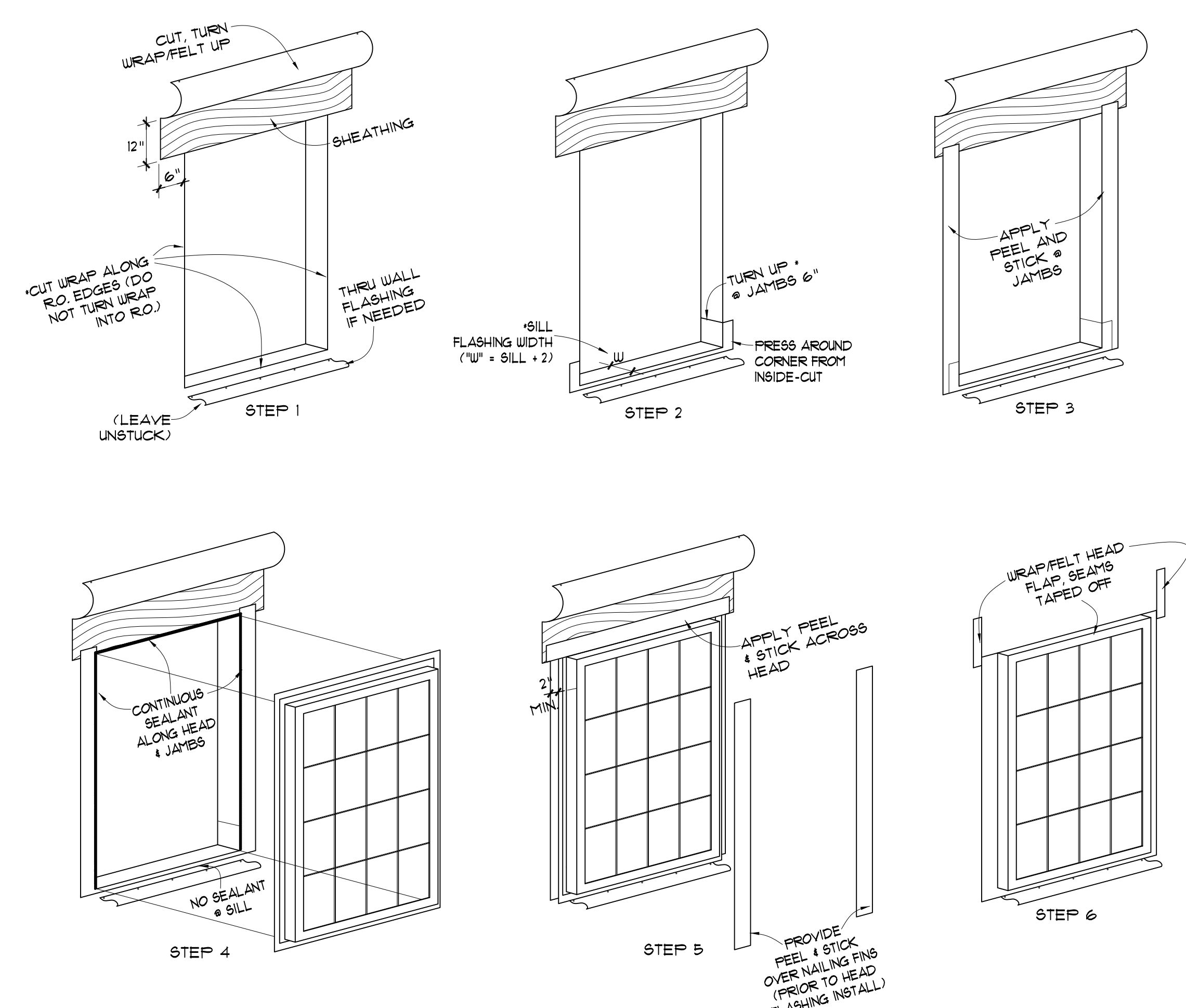
NOTE:
 VERIFY ALL WINDOW SIZES BEFORE CONSTRUCTION, DEMOLITION AND / OR ORDERING THE WINDOWS.

SECOND FLOOR WINDOW SCHEDULE							
WINDOW TYPE TAG	WINDOW TYPE	ELEVATION	SIZE (WxH)	EXISTING - DEMO - PROPOSED SEE SHEET A12 FOR DETAILS			REMARKS
				HEAD	JAMB	SILL	
F	SINGLE HUNG	"F"	37" x 63"	18 - 17 - 16	12 - 11 - 10	6 - 5 - 4	PGT - WINGUARD - 25 SH - SINGLE HUNG - DIVIDED 12 LITE - EGRESS - FIN - WITH DIVIDED FAN LITE TOP
G	SINGLE HUNG	"G"	37" x 63"	18 - 17 - 16	12 - 11 - 10	6 - 5 - 4	PGT - WINGUARD - 25 SH - SINGLE HUNG - DIVIDED 12 LITE - FIN
H	SINGLE HUNG	"H"	53-1/8" x 63"	18 - 17 - 16	12 - 11 - 10	6 - 5 - 4	PGT - WINGUARD - 35 SH - SINGLE HUNG - EGRESS - FIN
I	SINGLE HUNG	"I"	53-1/8" x 73"	18 - 17 - 16	12 - 11 - 10	6 - 5 - 4	PGT - WINGUARD - SINGLE HUNG - SPECIAL SIZE - FIN

- NOTE:**
- VERIFY ALL WINDOW OPENINGS BEFORE ORDERING WINDOWS.
 - INSTALL FER THE N.O.A.
 - PROVIDE SEALANT AROUND ALL FRAMES.
 - * IN ADDITION, CONTRACTOR TO VERIFY ACTUAL SIZE OF SPECIAL WINDOW.

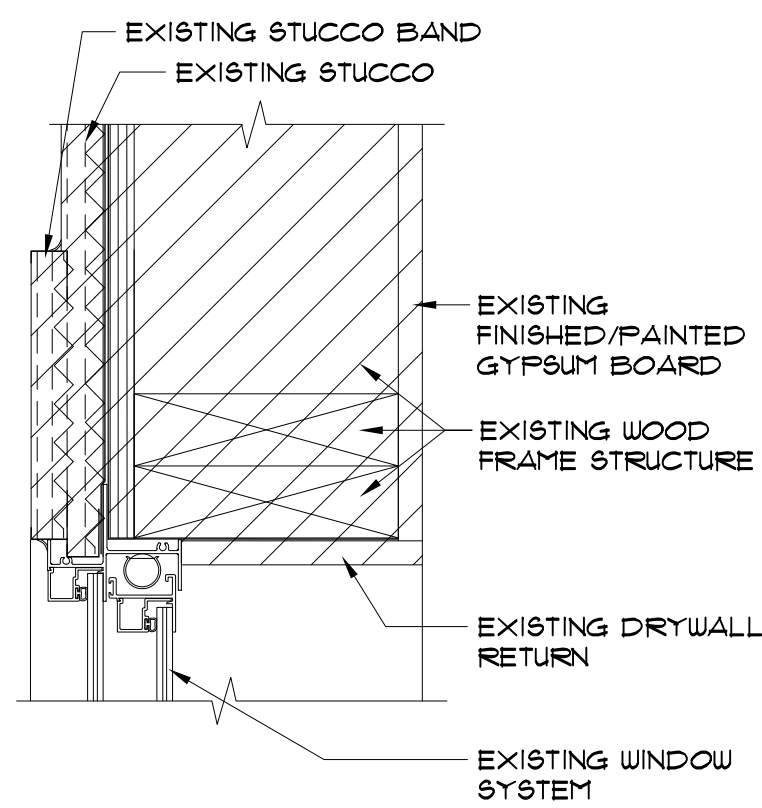
SLIDING GLASS DOOR SCHEDULE							
DOOR TAG	ELEVATION	SIZE (WxH)	EXISTING - DEMO - PROPOSED SEE SHEET A12 FOR DETAILS			NOTES	
			HEAD	JAMB	THRSH		
01	"01"	6'-0" x 8'-0"	9 - 8 - 7	6 - 5 - 4	3 - 2 - 1	PGT - WINGUARD - SGD-110 OR 100 - SLIDING GLASS DOOR	
02	"02"	8'-0" x 8'-0"	9 - 8 - 7	6 - 5 - 4	3 - 2 - 1	PGT - WINGUARD - SGD-110 OR 100 - SLIDING GLASS DOOR	

- NOTE:**
- VERIFY ALL OPENINGS BEFORE ORDERING DOORS.
 - INSTALL EXTERIOR DOORS FER THE N.O.A.
 - PROVIDE CONTINUOUS SEALANT AROUND ALL FRAMES.

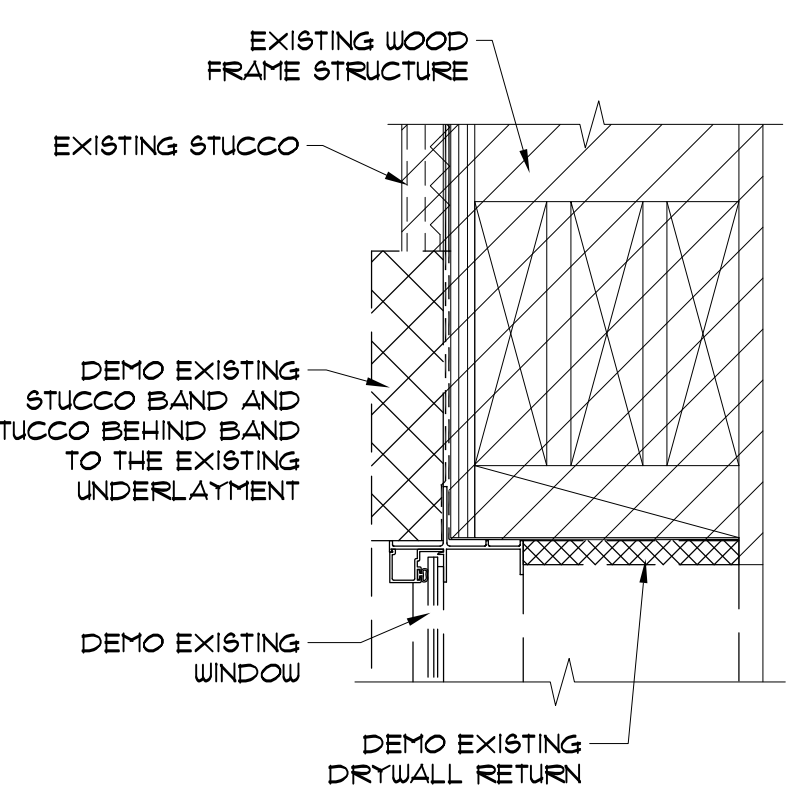


WINDOW FLASHING SEQUENCE
 NO SCALE 1

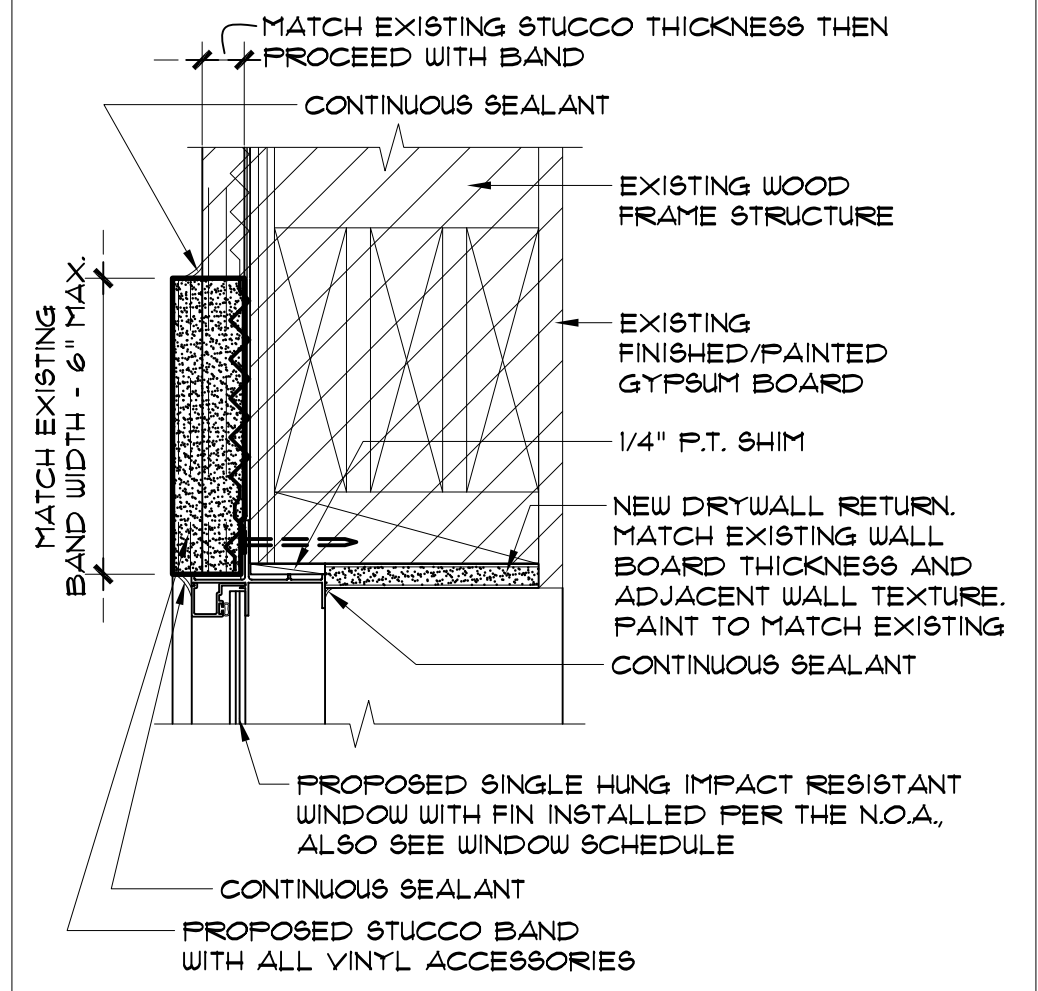
Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 20037-14-DTL1-WINDOWS.dwg 20037-14-DTL1-WINDOWS.dwg 7/30/2020 1:07 PM Vic DePue, Moore and Spence Architects



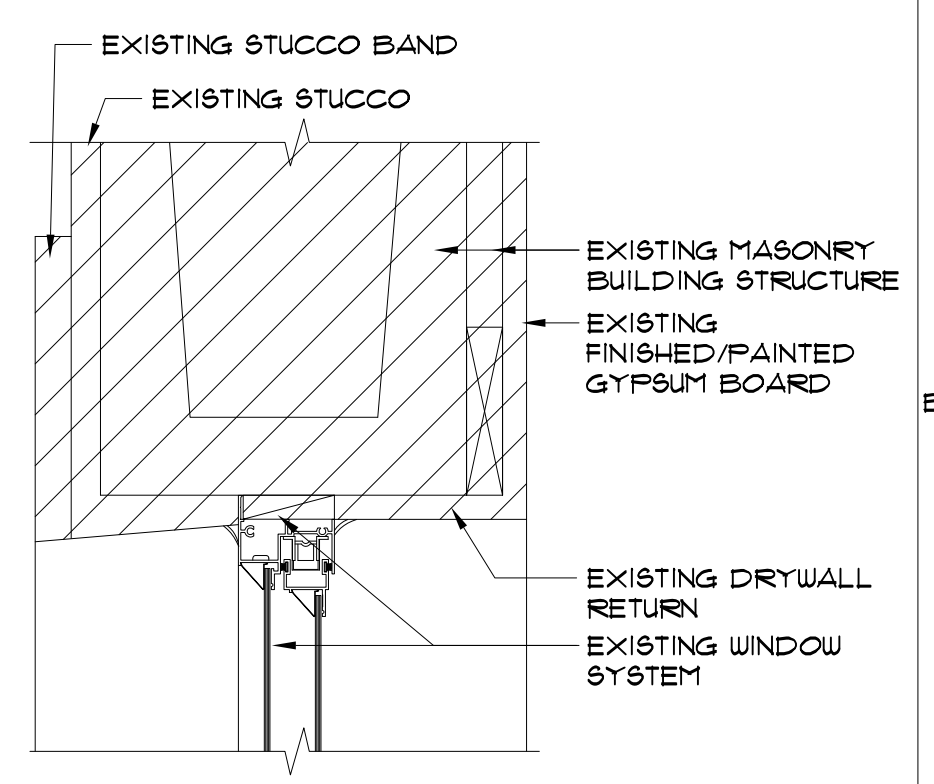
EXISTING HEAD DETAIL 18
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



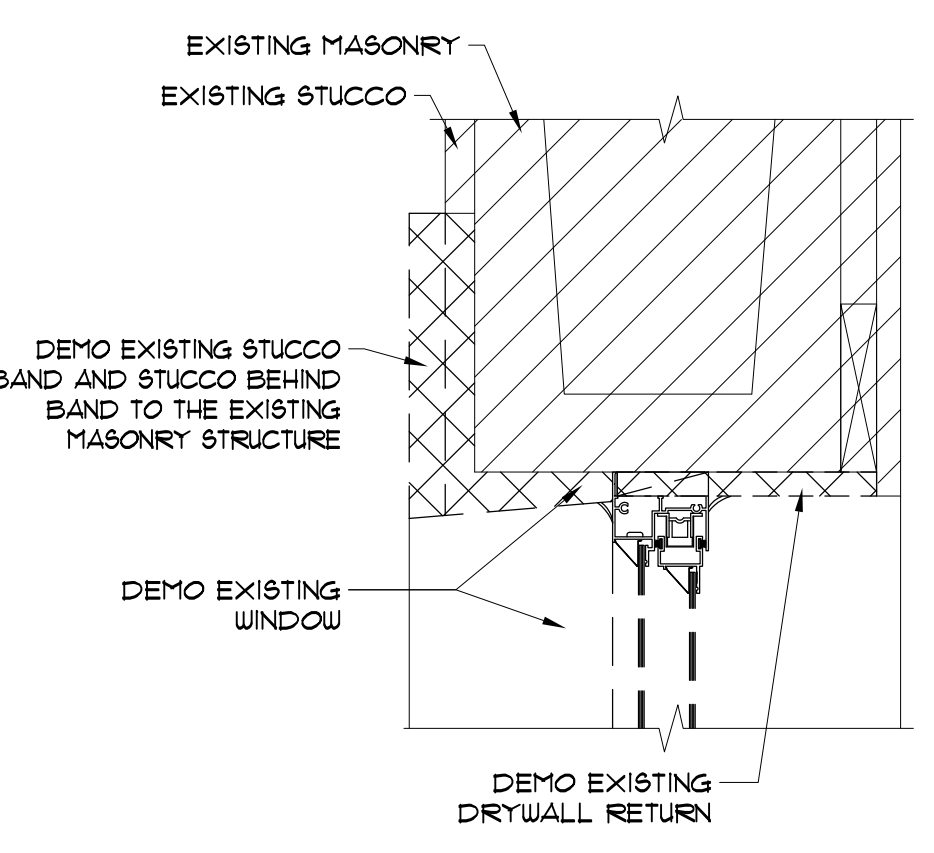
DEMO HEAD DETAIL 17
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



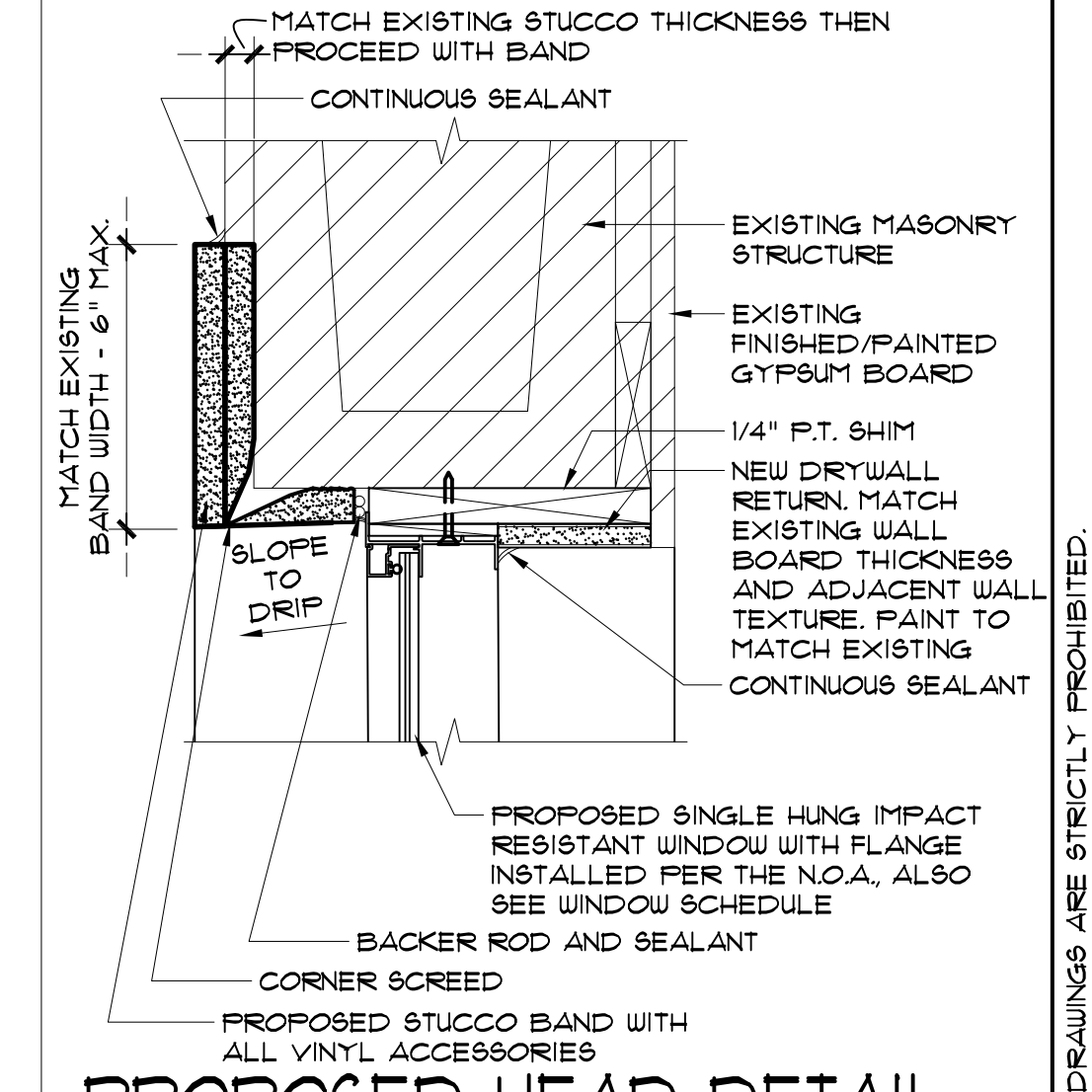
PROPOSED HEAD DETAIL 16
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



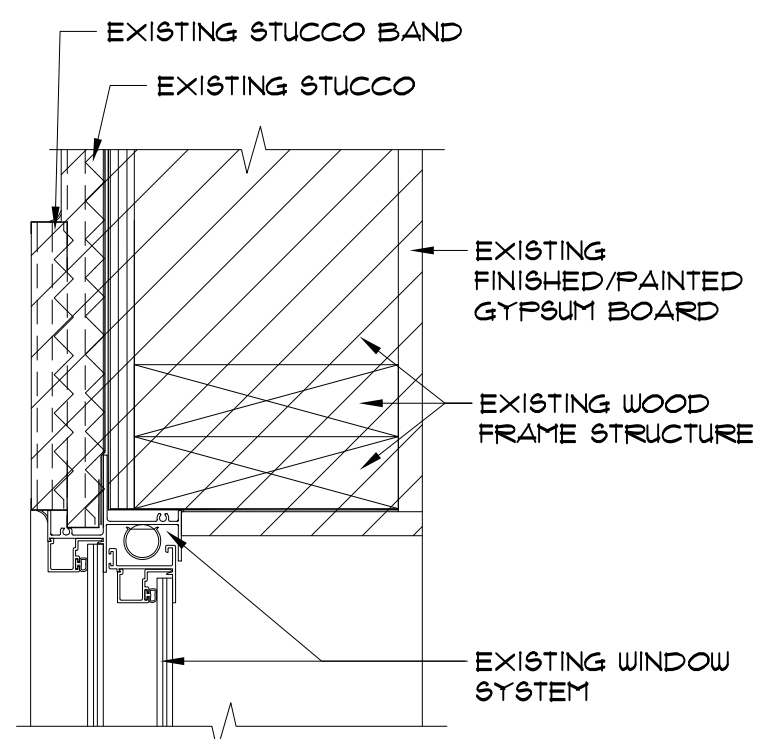
EXISTING HEAD DETAIL 15
MASONRY CONDITION SCALE 3" = 1'-0"



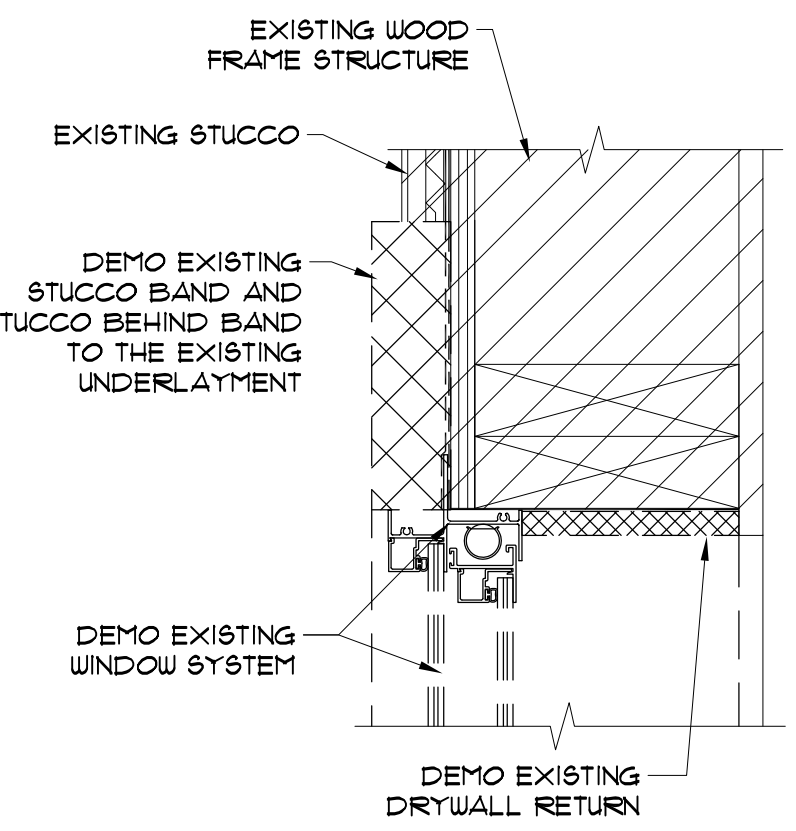
DEMO HEAD DETAIL 14
MASONRY CONDITION SCALE 3" = 1'-0"



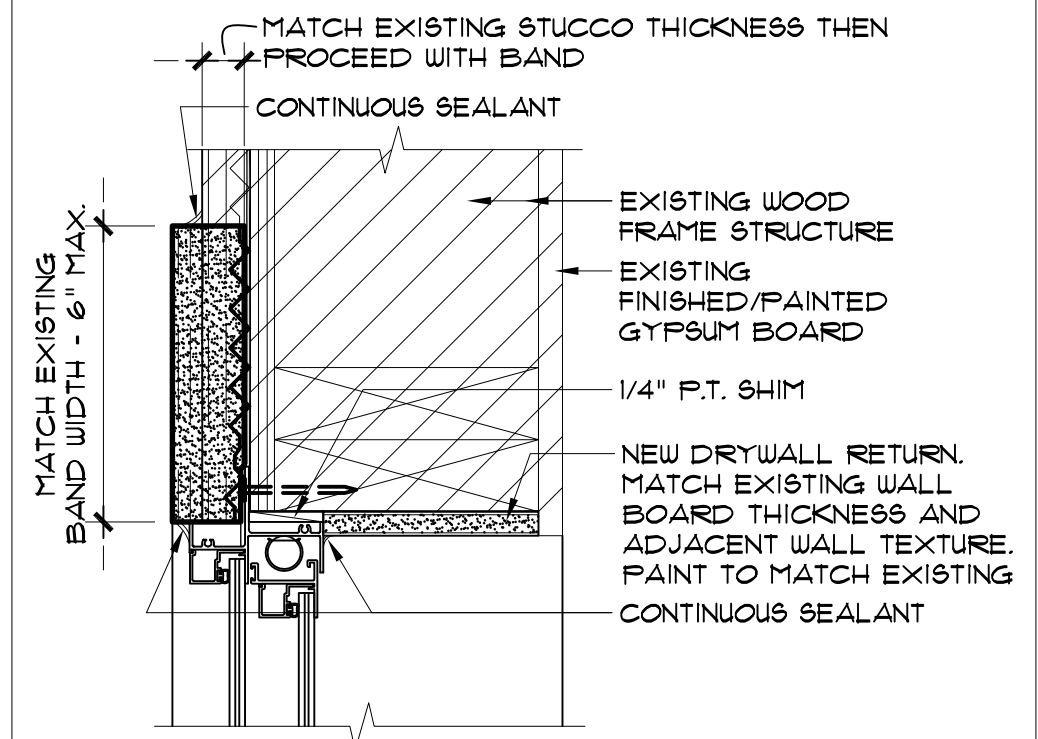
PROPOSED HEAD DETAIL 13
MASONRY CONDITION SCALE 3" = 1'-0"



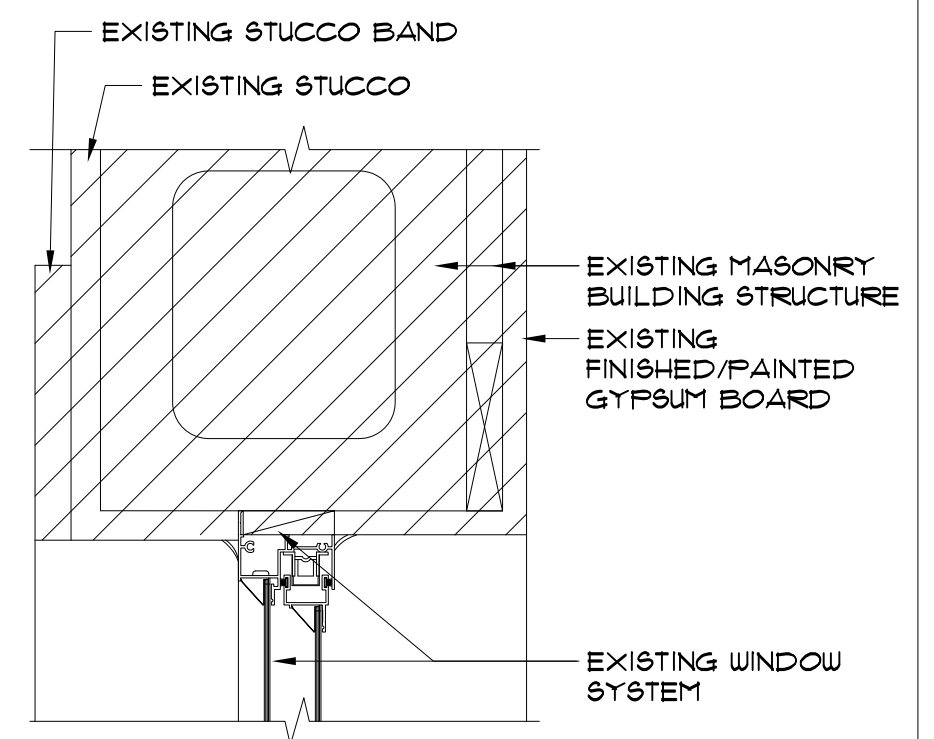
EXISTING JAMB DETAIL 12
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



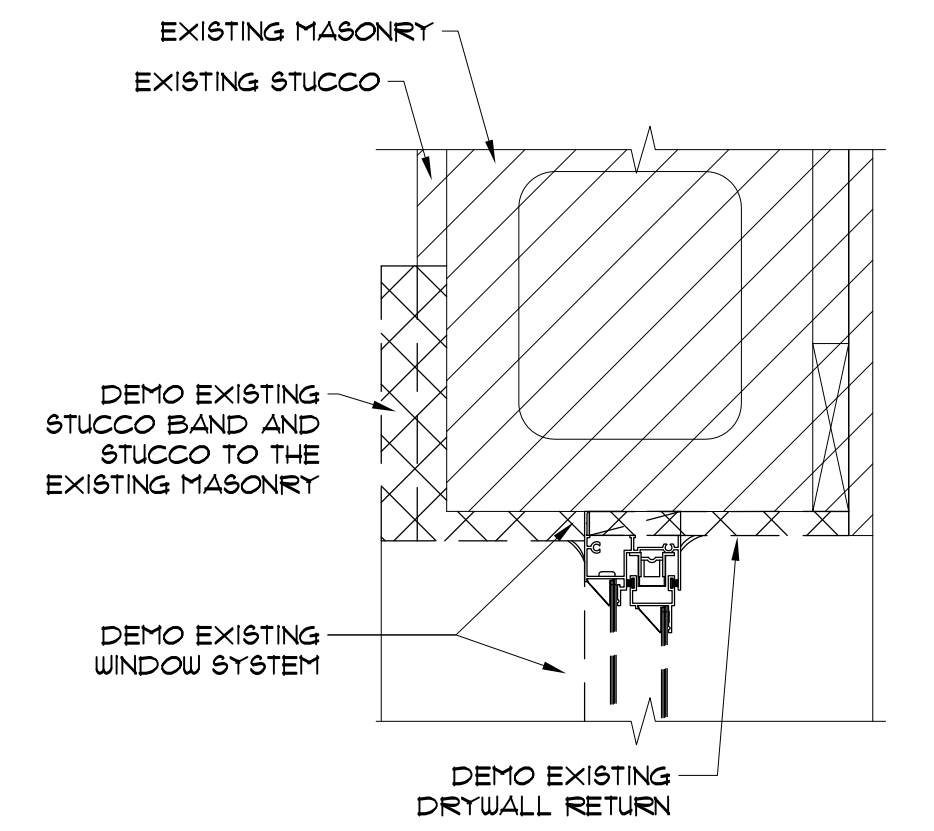
DEMO JAMB DETAIL 11
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



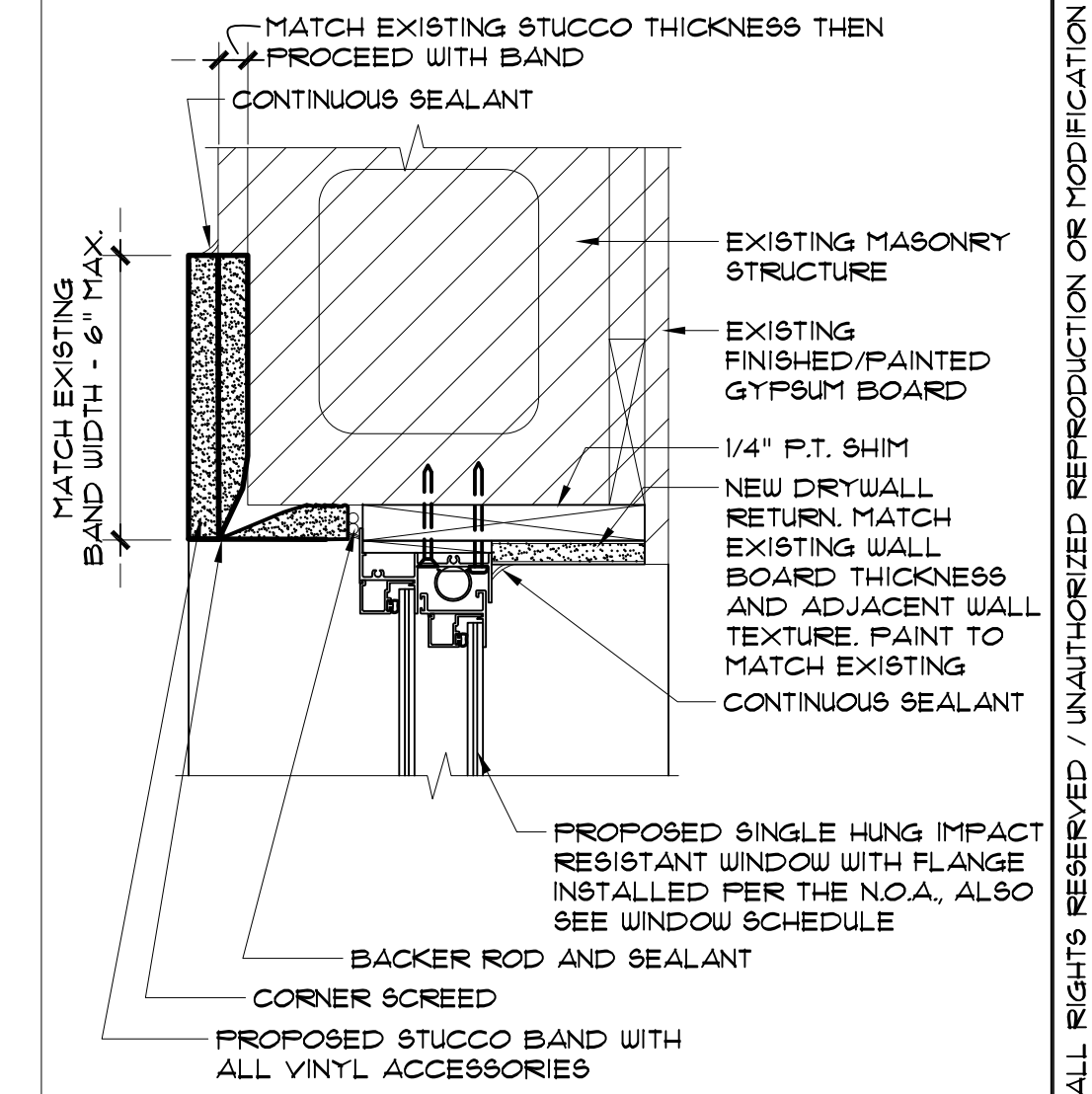
PROPOSED JAMB DETAIL 10
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



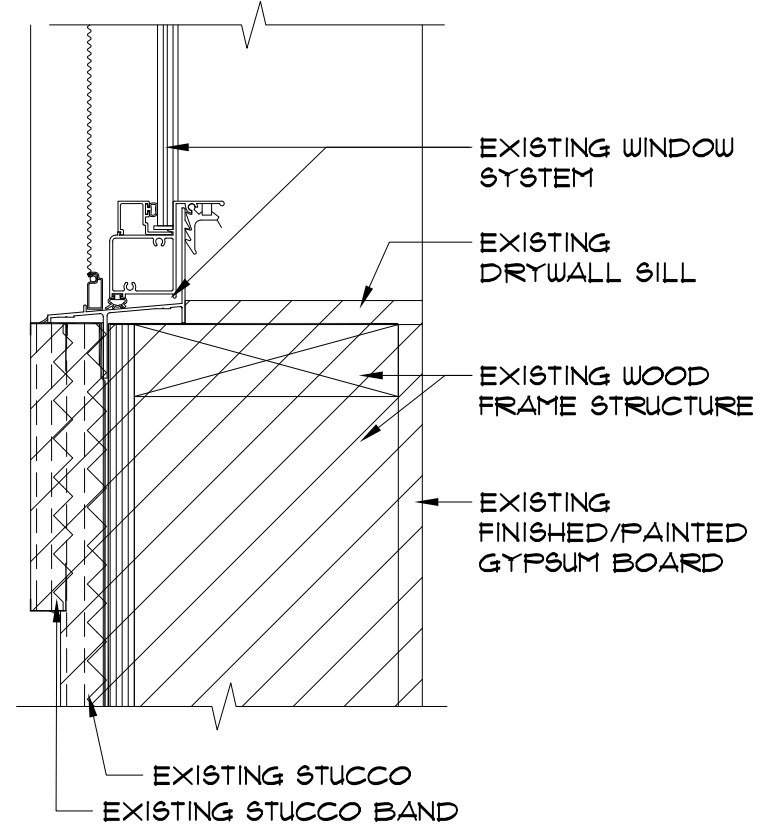
EXISTING JAMB DETAIL 9
MASONRY CONDITION SCALE 3" = 1'-0"



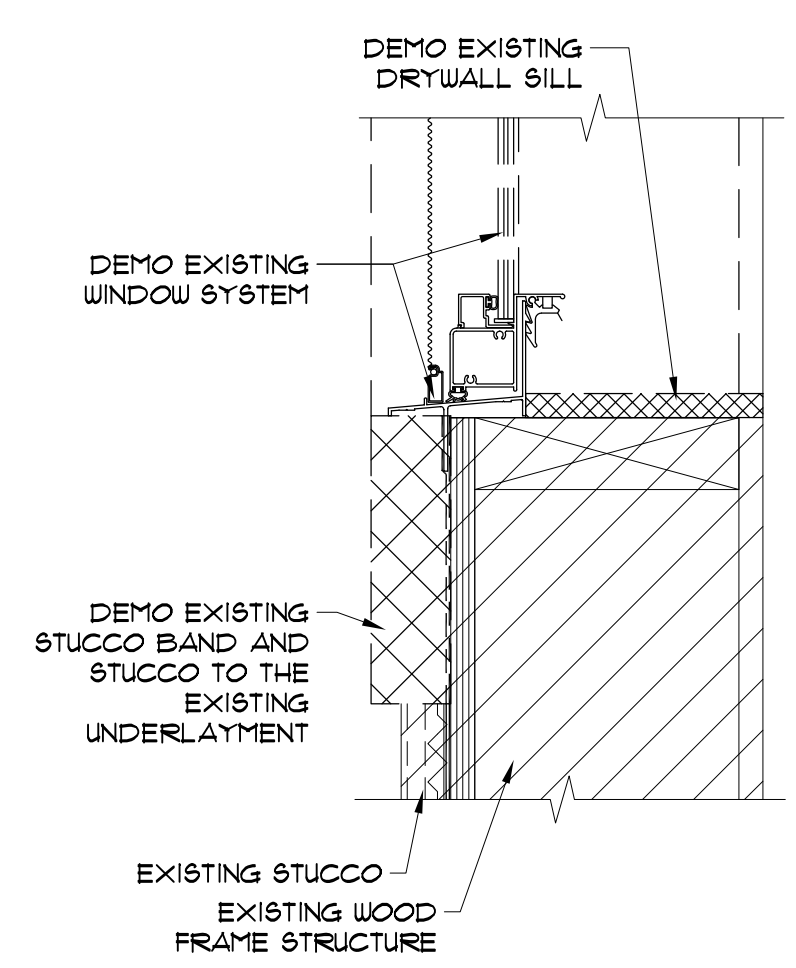
DEMO JAMB DETAIL 8
MASONRY CONDITION SCALE 3" = 1'-0"



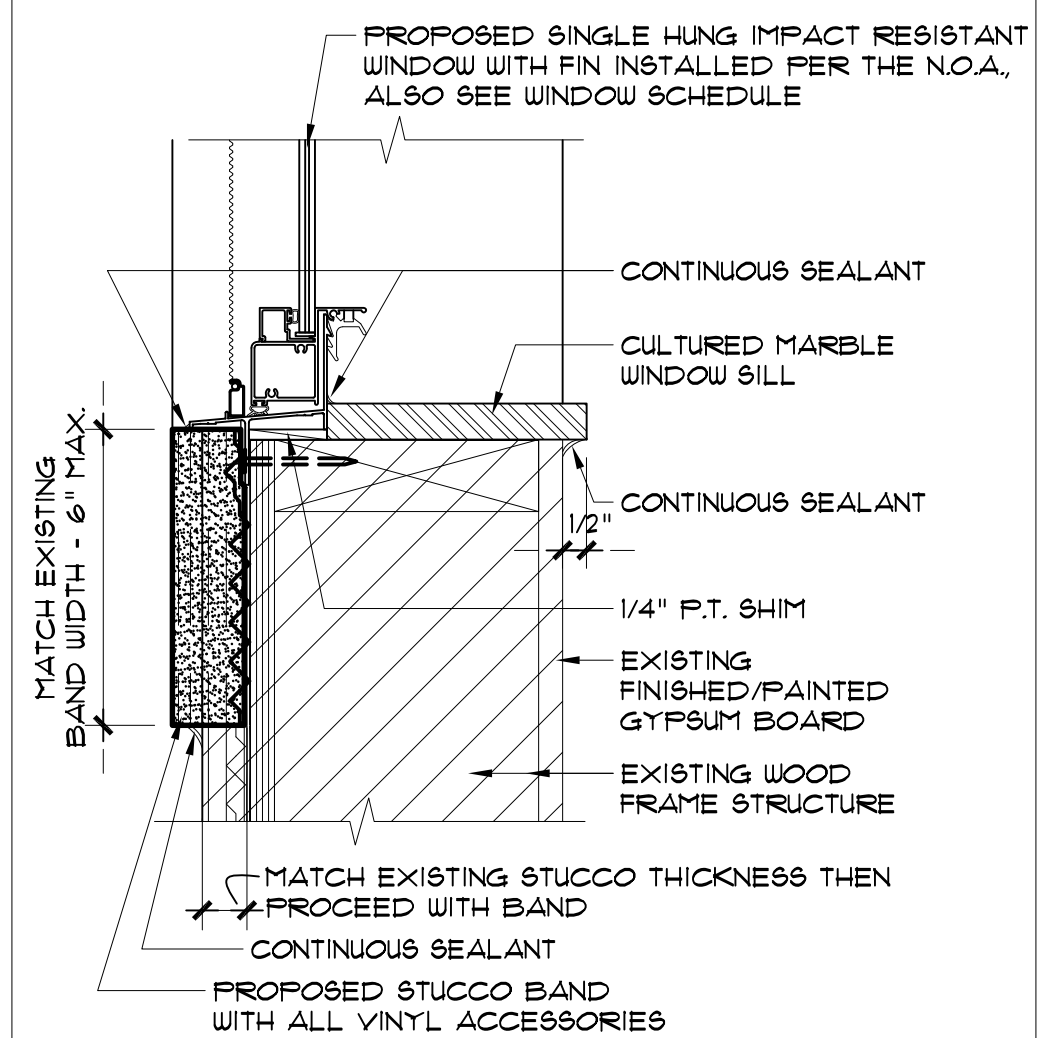
PROPOSED JAMB DETAIL 7
MASONRY CONDITION SCALE 3" = 1'-0"



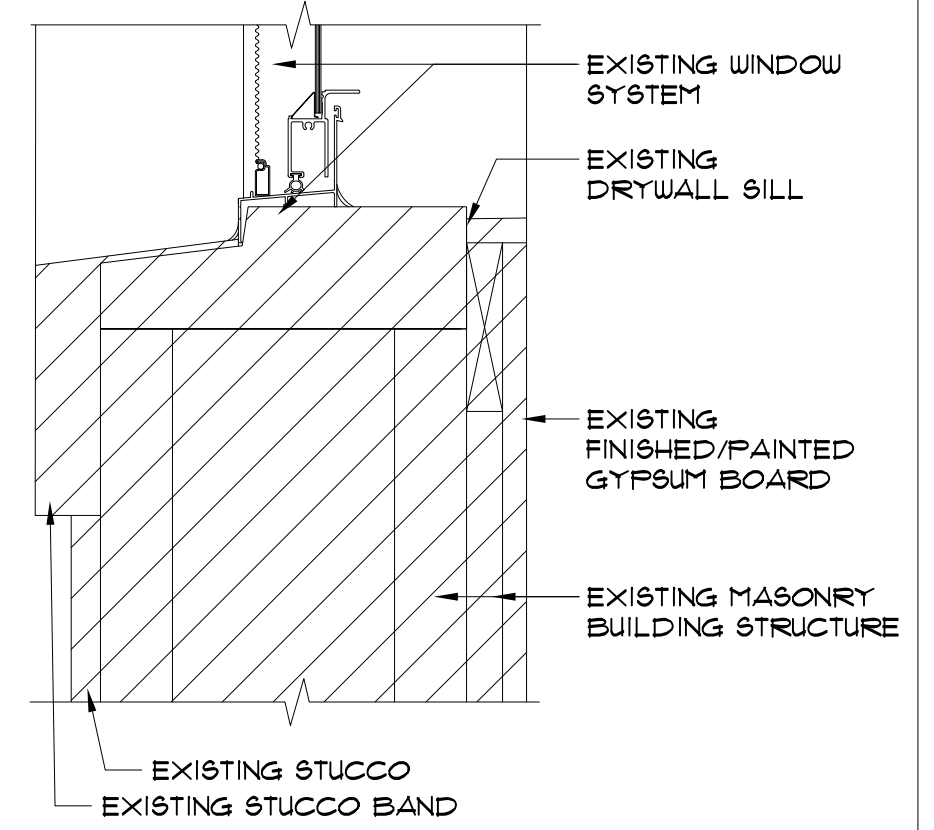
EXISTING SILL DETAIL 6
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



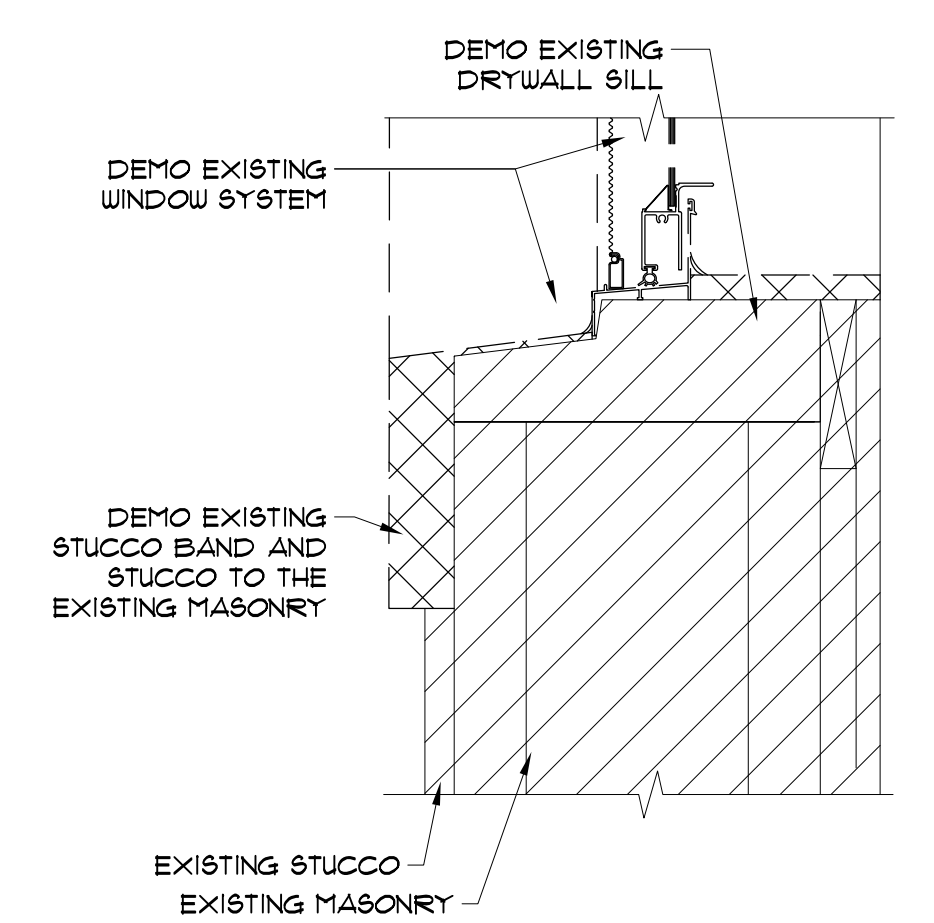
DEMO SILL DETAIL 5
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



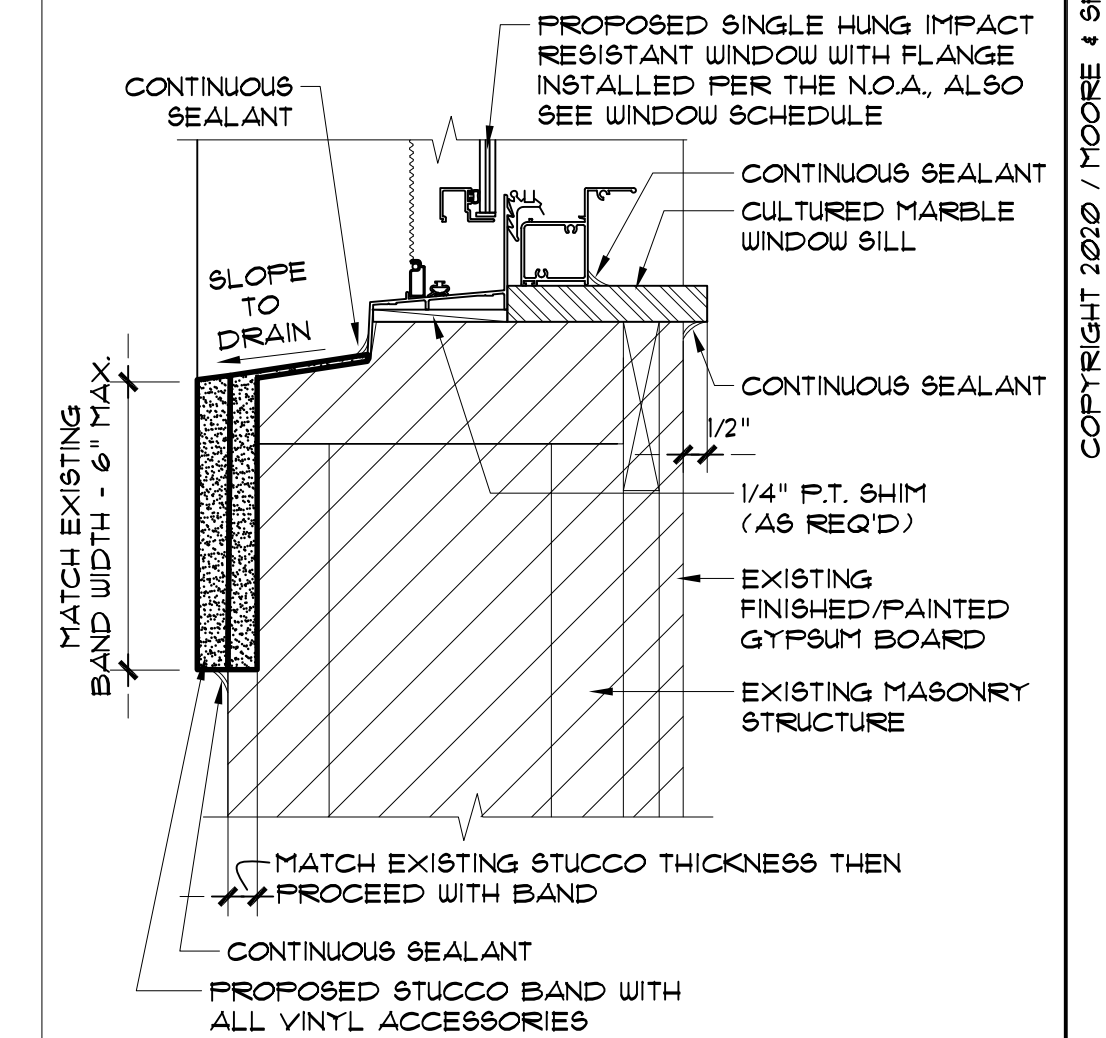
PROPOSED SILL DETAIL 4
FRAME STUD WALL CONDITION SCALE 3" = 1'-0"



EXISTING SILL DETAIL 3
MASONRY CONDITION SCALE 3" = 1'-0"



DEMO SILL DETAIL 2
MASONRY CONDITION SCALE 3" = 1'-0"

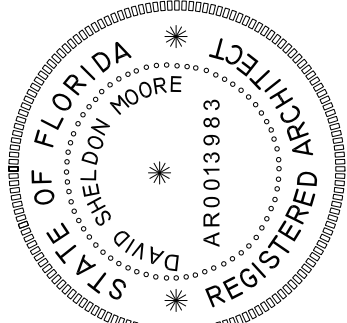


PROPOSED SILL DETAIL 1
MASONRY CONDITION SCALE 3" = 1'-0"

REVISIONS:

△	XX/XX/XX (XXX)	(REVISION DEF.)
△		
△		

MSA MOORE & SPENCE ARCHITECTS, P.A.
12613 NEW BRITANNY BLVD.
FORT MYERS, FLORIDA 33907
(239) 278-3520 FAX (239) 278-3519
AA # 0003069



COPYRIGHT 2020, MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED. UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.

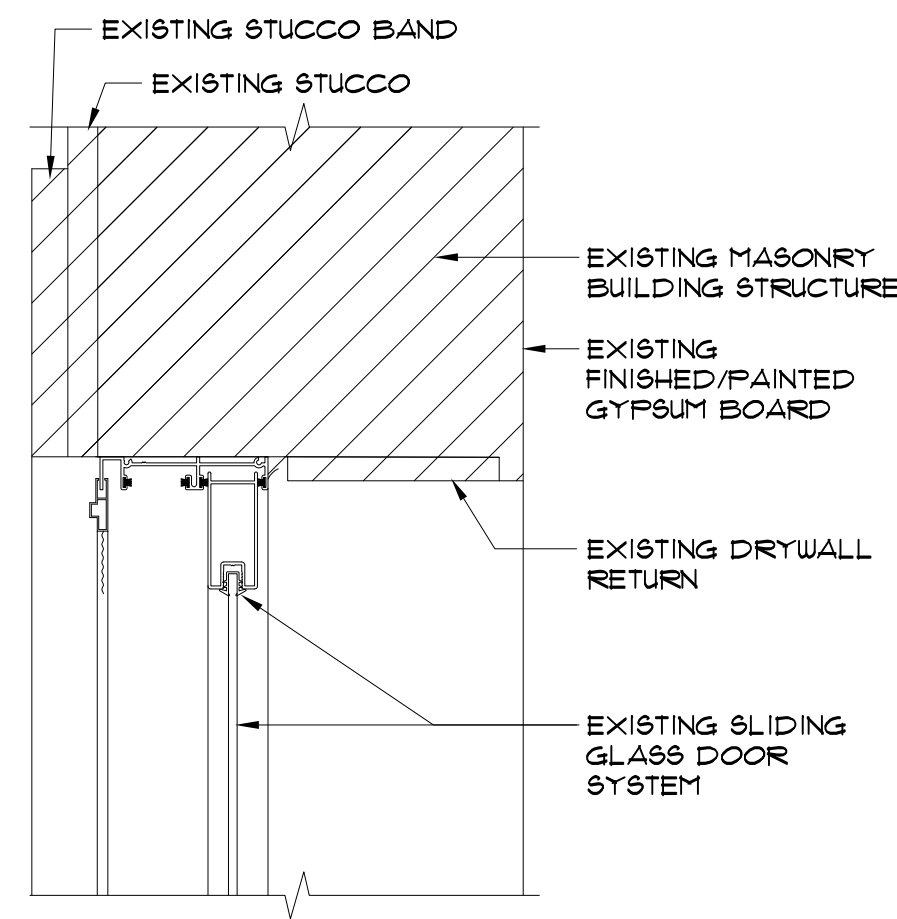
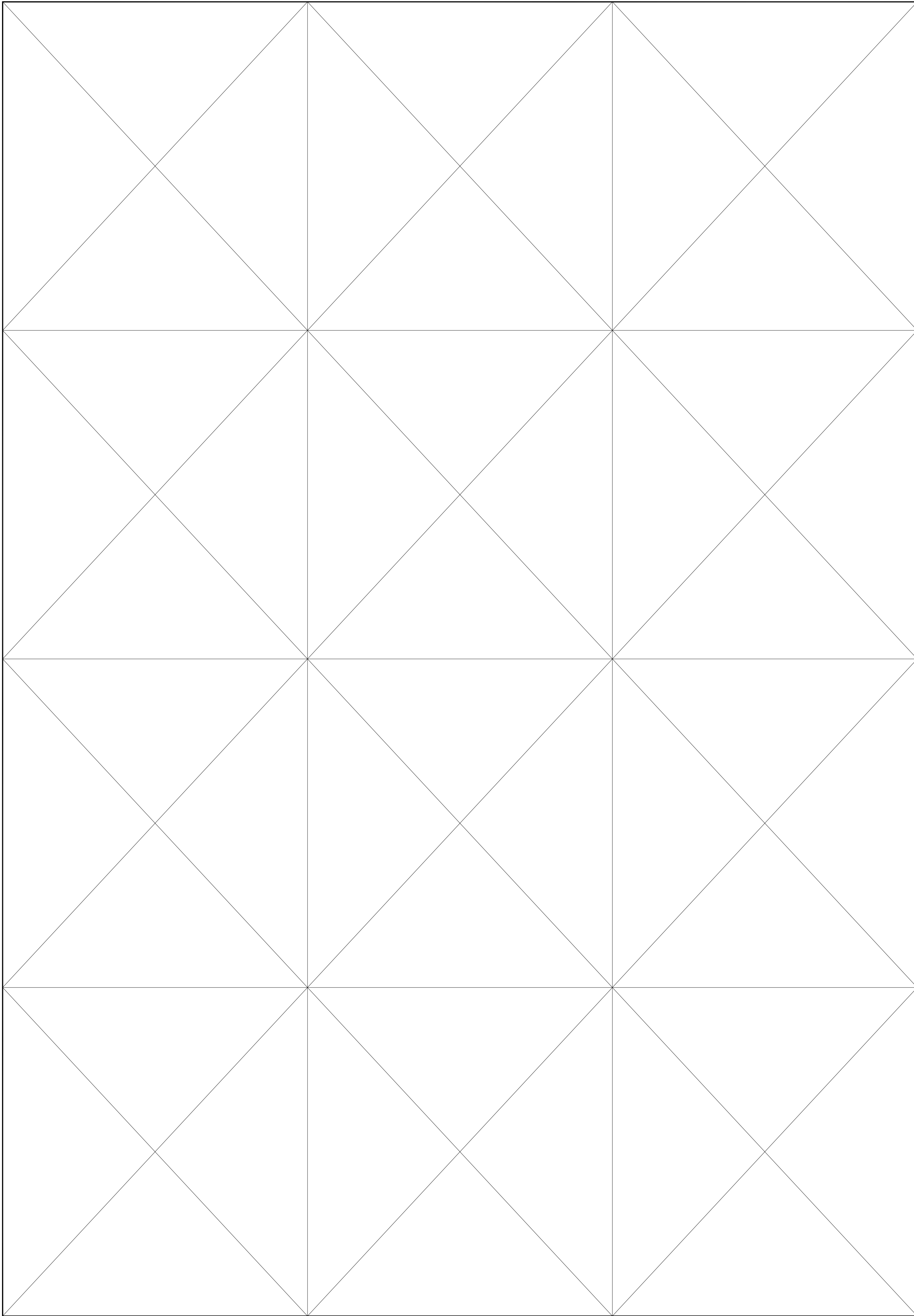
**WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
COVINGTON MEADOWS I, LLC
PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA**

WINDOW DETAILS

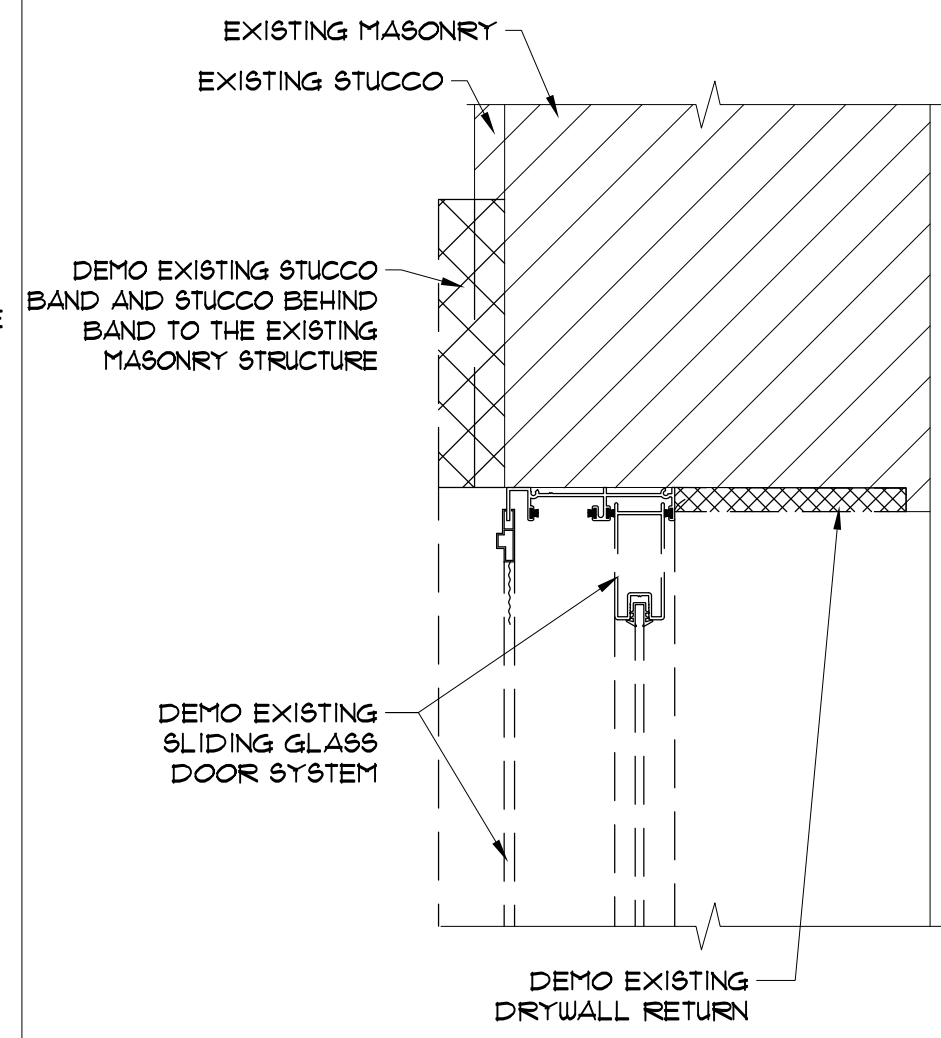
JOB NO:
20037
07/31/2020

SHEET No:
A11

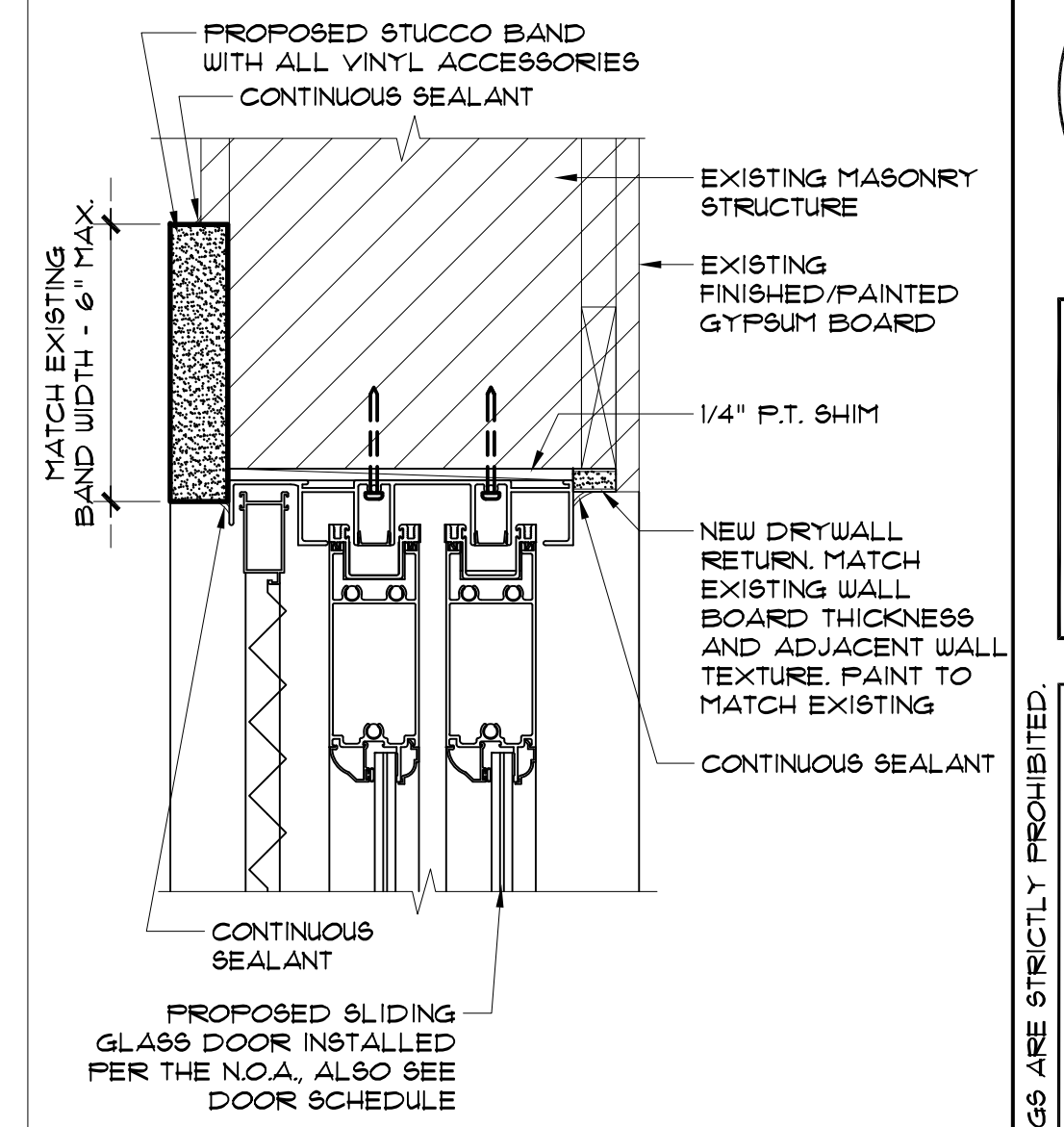
Drawing Log: XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) XX/XX/XX (XXX) 20037-15-DTL2-DOORS.dwg
 Vic DePue, Moore and Spence Architects 7/30/2020 1:07 PM



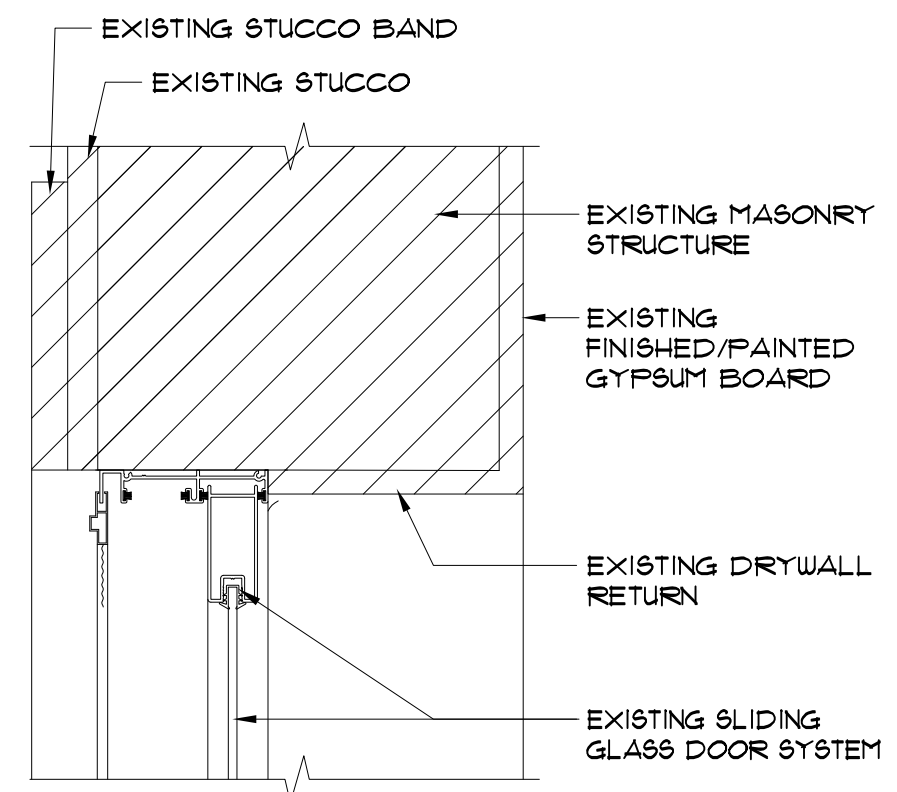
EXISTING HEAD DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 9



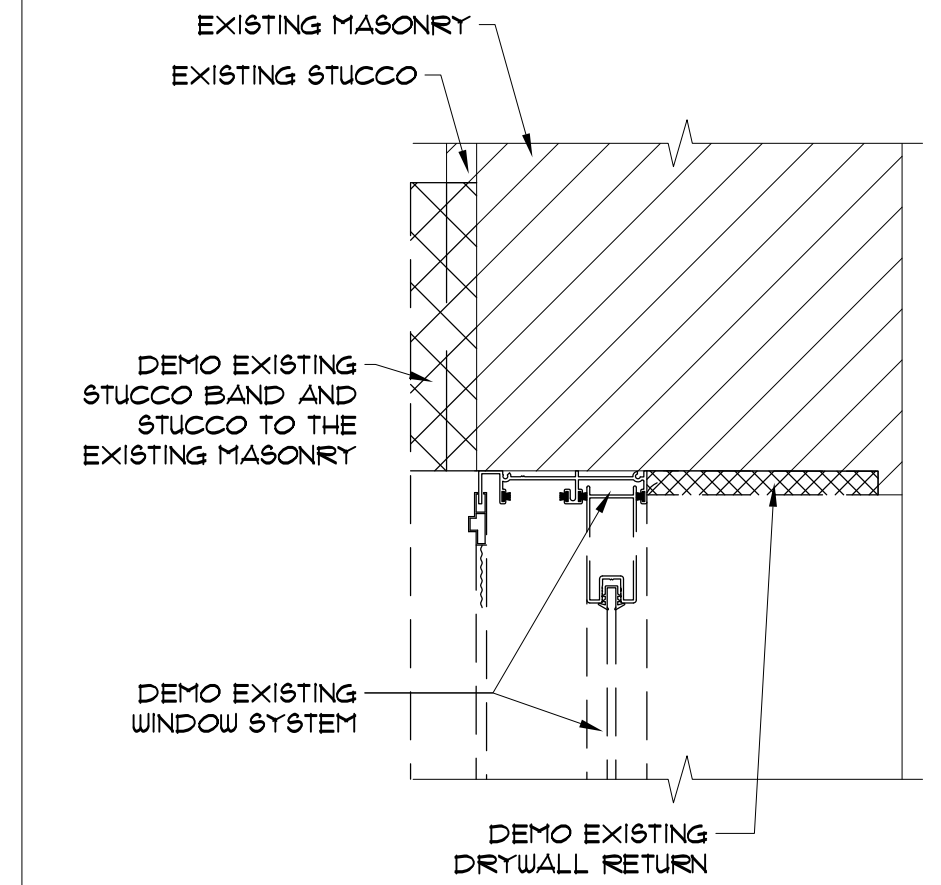
DEMO HEAD DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 8



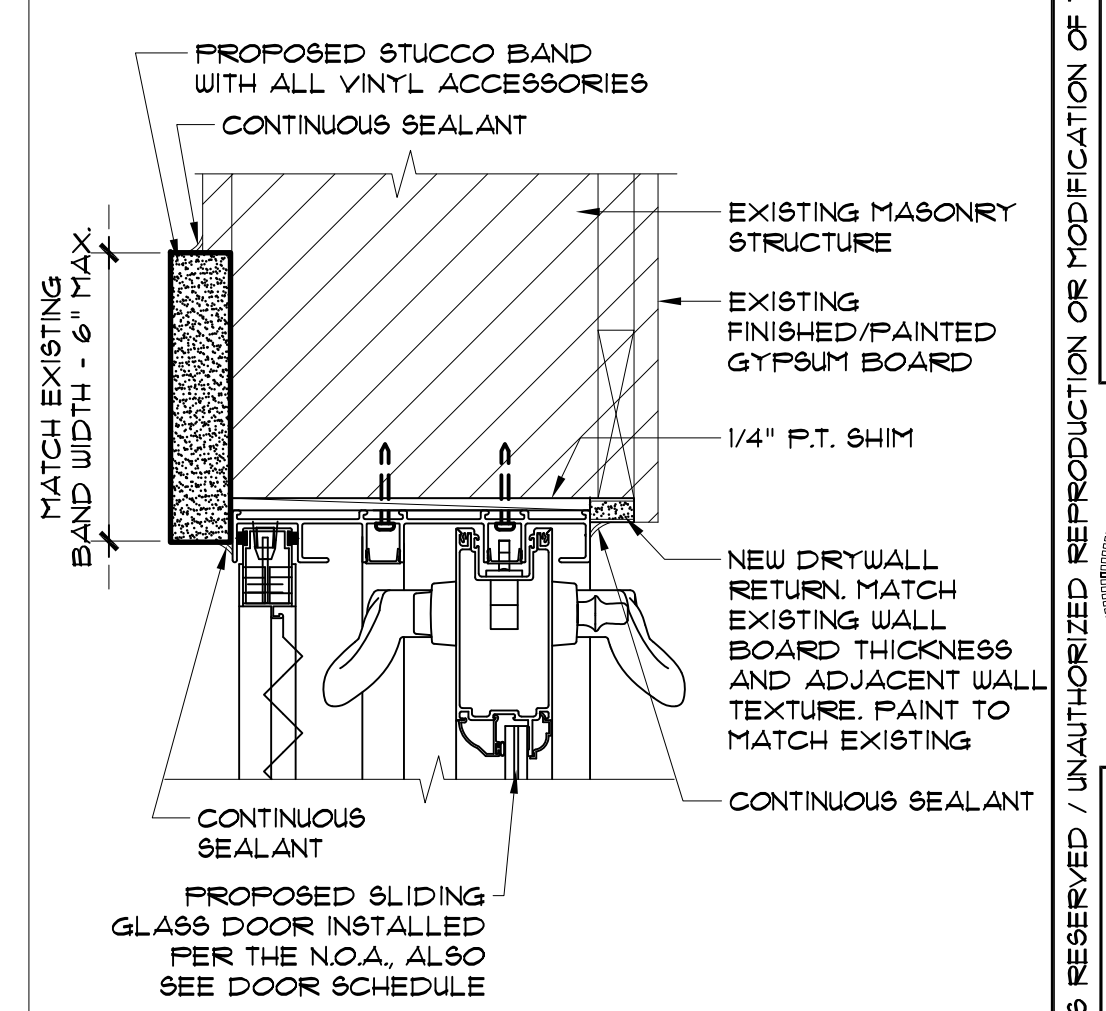
PROPOSED HEAD DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 7



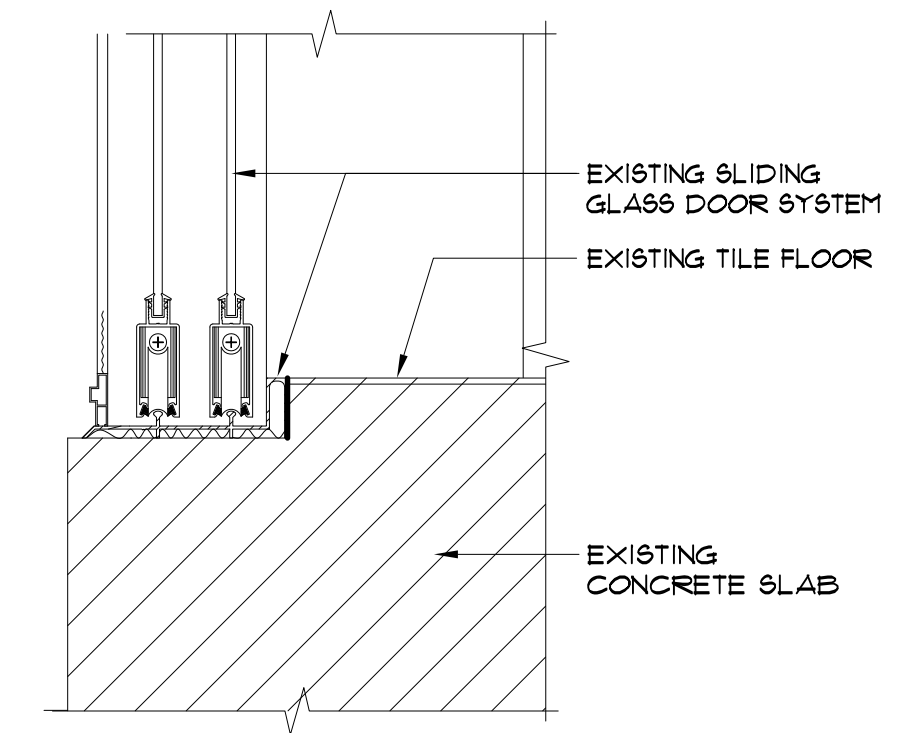
EXISTING JAMB DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 6



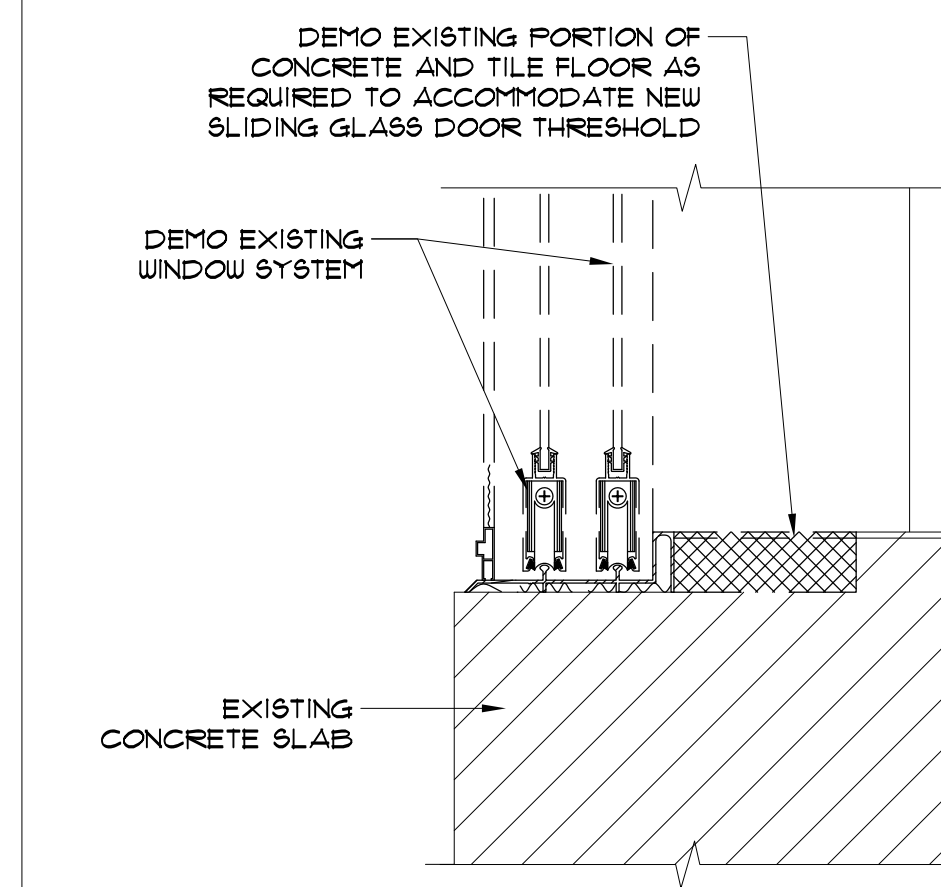
DEMO JAMB DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 5



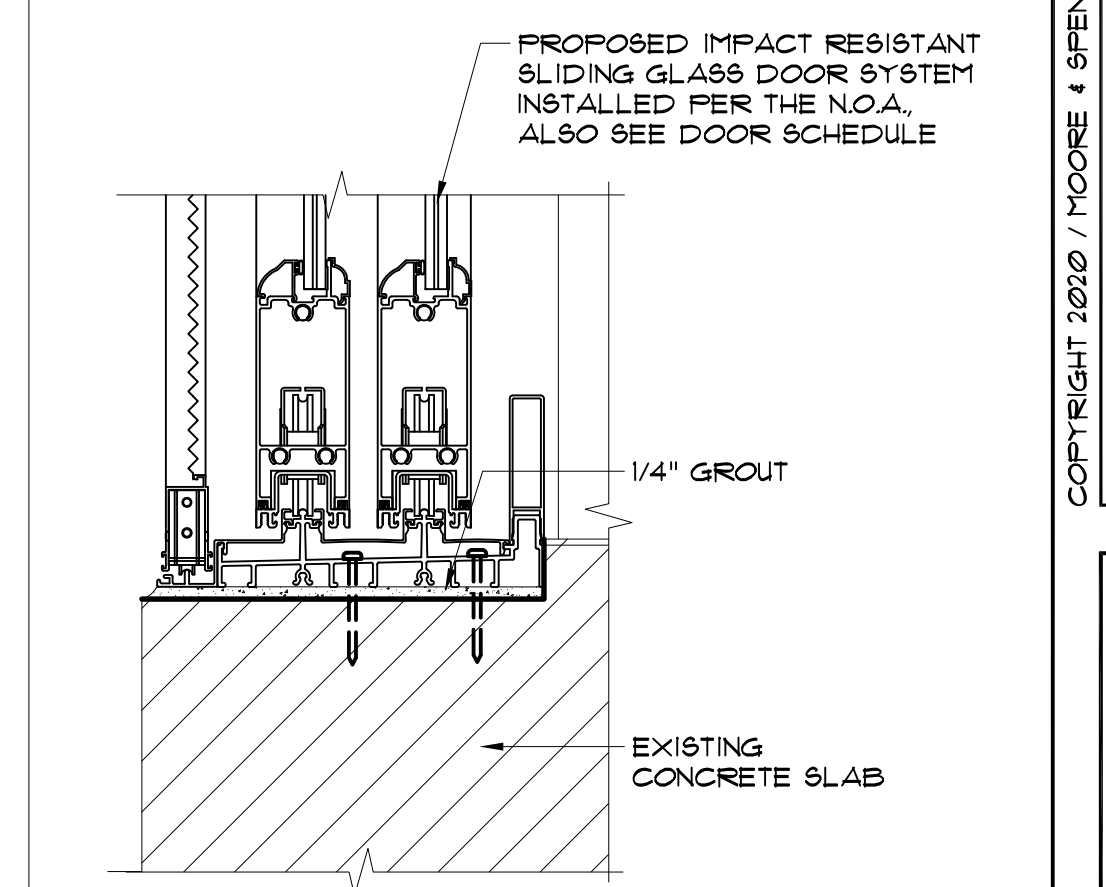
PROPOSED JAMB DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 4



EXISTING THRESHOLD DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 3



DEMO THRESHOLD DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 2



PROPOSED THRESHOLD DETAIL
 MASONRY CONDITION SCALE 3" = 1'-0" 1

SET NO:
 REVISIONS:
 XX/XX/XX (XXX)
 (REVISION DEF.)

MSA MOORE & SPENCE ARCHITECTS, P.A.
 12613 NEW BRITANNY BLVD.
 FORT MYERS, FLORIDA 33907
 (239) 278-3520 FAX (239) 278-3519
 AA # 00030069



COPYRIGHT 2020 / MOORE & SPENCE ARCHITECTS, P.A. / ALL RIGHTS RESERVED / UNAUTHORIZED REPRODUCTION OR MODIFICATION OF THESE PLANS OR DRAWINGS ARE STRICTLY PROHIBITED.
 WINDOW AND SLIDING GLASS DOOR REPLACEMENT FOR:
COVINGTON MEADOWS, BUILDINGS 1 & 11
 COVINGTON MEADOWS I, LLC
 PARKWOOD PALMS BLVD., LEHIGH ACRES, FLORIDA
SLIDING GLASS DOOR DETAILS

JOB No:
20037
 07/31/2020

SHEET No:
A12